

TOWN OF SEABROOK ISLAND

Board of Zoning Appeals Meeting

January 21, 2021 – 2:30 PM

Virtual Meeting (Zoom)

[Watch Live Stream \(YouTube\)](#)



Consistent with recommendations from the U.S. Centers for Disease Control and Prevention related to “social distancing,” this meeting will be conducted virtually via Zoom.

Participate in the Virtual Public Hearing: Individuals who wish to participate in the virtual Public Hearing via Zoom may access the meeting as follows:

- [Instructions for Joining & Participating in the Virtual Public Hearing](#)
- **To join by computer, tablet or mobile device:** [Click here to access Zoom Meeting](#)
- **To join by phone:** Call (646) 558-8656 **Please note that long distance rates may apply**
- **Meeting ID:** 894 0063 4207 **Passcode:** 888171

Submit a Written Comment: Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:

- **Online:** [Variance #171](#) | [Variance #172](#)
- **Email:** jcronin@townofseabrookisland.org
- **Mail or Hand Deliver:** 2001 Seabrook Island Road, Seabrook Island, SC 29455

Watch Live Stream Video: The meeting will be live streamed on the town’s YouTube channel beginning at 2:30 pm:

- **Watch Live:** [Live Stream Video \(YouTube\)](#)

AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. Board of Zoning Appeals Meeting: January 7, 2021 *[Pages 3–4]*

PUBLIC HEARING ITEMS

1. Variance # 171 *[Pages 5–69]*

APPLICANT: Robert & Cheryl Schuldt (Owners), Ron Welch (Applicant)
ADDRESS: 2730 Gnarled Pine

TAX MAP NUMBER: 147-08-00-080
ZONING DISTRICT: SR Single-Family Residential
CODE SECTION: 7.60.20.30 / 7.60.60 – 25-foot rear yard setback required for residential structures
PURPOSE: To reduce the required rear yard setback from 25 feet to approximately 19.5 feet to allow for construction of a screened porch addition

2. **Variance # 172**

[Pages 70–161]

APPLICANT: Ashton Holloway (Owner)
ADDRESS: 3016 Seabrook Village Drive
TAX MAP NUMBER: 147-00-00-059
ZONING DISTRICT: MF Multi-Family Residential
CODE SECTION: 6.80 (Village at Seabrook PUD, as amended by Ord. 2020-01) – 30-foot front yard setback required from both street frontages on corner lots
PURPOSE: To reduce the required front yard setback on the secondary street frontage from 30 feet to twenty 20 feet to allow for construction of a detached single-family home

ITEMS FOR INFORMATION / DISCUSSION

There are no Items for Information / Discussion

ADJOURN

TOWN OF SEABROOK ISLAND

Board of Zoning Appeals Meeting

January 7, 2021 – 2:30 PM

Virtual Meeting Hosted via Zoom

[Live Streamed on YouTube](#)



MINUTES

Present: Walter Sewell (Chair), John Fox (Vice Chair), Bob Leggett, Janet Gorski, Tom Pinckney, Joe Cronin (Zoning Administrator)

Absent: None

Guests: None

Chairman Sewell called the meeting of the Board of Zoning Appeals to order at 2:35 PM. Zoning Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled, and the meeting was properly posted.

Chairman Sewell then welcomed Mr. Tom Pinckney to the Board of Zoning Appeals. Mr. Pinckney was appointed by council to fill the position formerly held by Ms. Ava Kleinman.

ELECTION OF CHAIR & VICE CHAIR FOR 2020

Chairman Sewell opened the floor for nominations for the position of chair. Ms. Gorski nominated Walter Sewell to serve as chair for 2021. Mr. Fox seconded the nomination. There being no further nominations, Chairman Sewell called for a vote on the nomination. The motion to elect Mr. Sewell as chair was **APPROVED** by a vote of 5-0.

Chairman Sewell then opened the floor for nominations for the position of vice chair. Chairman Sewell nominated John Fox to serve as vice chair for 2021. Ms. Gorski seconded the nomination. There being no further nominations, Chairman Sewell called for a vote on the nomination. The motion to elect Mr. Fox as vice chair was **APPROVED** by a vote of 5-0.

APPOINTMENT OF SECRETARY FOR 2019

Chairman Sewell nominated Zoning Administrator Cronin to serve as Secretary to the Board for 2021. Mr. Leggett seconded the nomination. There being no further nominations, Chairman Sewell called for a vote on the nomination. The motion to appoint Zoning Administrator Cronin as secretary was **APPROVED** by a vote of 5-0.

APPROVAL OF MINUTES

1. **Board of Zoning Appeals Meeting: November 2, 2020:** Ms. Gorski noted a typo on page 9 (“district” should be “distract.”) Ms. Gorski made a motion to approve the minutes from the November 2, 2020, meeting as corrected. Mr. Fox seconded the motion. The motion was **APPROVED** by a vote of 4-0. Mr. Pinckney abstained from voting because he was not a member of the Board at that time.

PENDING VARIANCE REQUESTS

Zoning Administrator Cronin distributed copies of the following variance applications to members of the Board and provided a brief overview of each request:

- **Variance #171 (2730 Gnarled Pine):** Request to allow a proposed screened porch addition to encroach approximately 5.5 feet into the required 25-foot rear yard setback.
- **Variance #172 (3016 Seabrook Village Drive):** Request to allow a new single-family home to encroach up to 10 feet into the required 30-foot front yard setback. A brief discussion took place regarding “cul-de-sacs,” which is not a defined term in the DSO.

Zoning Administrator Cronin noted that the public hearing for each of these variances would be held “virtually” due to the ongoing COVID-19 pandemic. He stated that the Board will be able to receive verbal comments via the Zoom platform, similar to a traditional public hearing. In addition, the town will continue to accept written comments in advance of the meeting via the following options:

- **ONLINE:** www.townofseabrookisland.org
- **EMAIL:** jcronin@townofseabrookisland.org
- **MAIL:** Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

Zoning Administrator Cronin added that all written comments would be read into the public record during the hearing on January 21st.

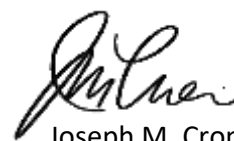
ITEMS FOR INFORMATION / DISCUSSION

There were no Items for Information / Discussion.

Chairman Sewell noted that the next meeting was scheduled for Thursday, January 21, 2021, at 2:30 PM. He requested that members make arrangements to visit each location prior to the next meeting. He also encouraged members to wear a mask when interacting with others during the site visits.

There being no further business, Ms. Gorski made a motion to adjourn the meeting. Mr. Leggett seconded the motion. The motion to adjourn the meeting was **APPROVED** by a vote of 5-0 and the meeting was adjourned at 3:03 PM.

Minutes Approved:



Joseph M. Cronin
Zoning Administrator



MEMORANDUM

TO: Town of Seabrook Island Board of Zoning Appeals Members
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Application # 171 – 2730 Gnarled Pine
MEETING DATE: January 21, 2021

Variance Application #166

Applicants:	Robert and Cheryl Schuldt (Owners), Ron Welch (Applicant)
Location:	2730 Gnarled Pine
Tax Map Number:	147-08-00-080
Zoning District:	SR Single-Family Residential
Code Section(s):	§ 7.60.20.30 / § 7.60.60 – 25-foot rear yard setback required for residential structures
Purpose:	To reduce the required rear yard setback from 25 feet to approximately 19.5 feet to allow for construction of a screened porch addition

Overview

The Town has received a variance application from Robert and Cheryl Schuldt, the owners of Charleston County Tax Map # 147-08-00-080, as well as their contractor, Ron Welch (collectively, the “Applicants”). The Applicants are requesting a reduction in the 25-foot rear yard setback requirement to allow for construction of a screened porch addition at the rear of an existing single-family residence located at 2730 Gnarled Pine (Block 9, Lot 14).

According to Charleston County tax records, the existing home was built after the incorporation of the town (1994) and, therefore, was built under the town’s zoning requirements. Mr. and Mrs. Schuldt purchased the property in April 2017.

The DSO requires a minimum rear yard setback of 25 feet from the rear property line for all structures other than open decks, including a screened porch. At its closest point, the proposed porch will be located approximately 19.5 feet from the rear property line.

Code Reference:

- a. **§ 7.60.20.30. Minimum Rear Yard Setback.** Twenty-five (25) feet.
- b. **§ 7.60.60. Open Space Lots—Rear Setback.** On lake, lagoon, or golf course lots the minimum rear lot setback of the residential structure must be twenty-five (25) feet. Open decks may extend into the setback, but may not be less than fifteen (15) feet from the rear lot line.

The property is currently zoned SR Single-Family Residential, and a single-family residence is a permitted use by-right.

The existing home complies with the 30-foot front yard setback, 15-foot side yard setback on both sides, and 25-foot rear yard setback for the principal dwelling. The existing deck conforms to the 15-foot setback requirement for open decks; however, based on the survey of existing conditions, the steps and walkway coming off the rear deck appear to be non-conforming.

In order to allow for construction of the proposed screened porch, the Applicants are requesting the following variance from the requirements of the DSO:

TYPE	REQUIRED PER DSO	VARIANCE (REQUESTED)
Rear Yard Setback	25 feet (§ 7.60.20.30 & § 7.60.60)	Reduce the rear yard setback requirement from 25 feet to approximately 19.5 feet (5.5-foot encroachment)

In their application, the Applicants are requesting relief from the rear yard setback requirement for the following reasons:

- a) The existing home was constructed under different setback requirements than exist today;
Staff Note: The town's 25-foot rear yard setback requirement is the same today as it was when the home was constructed, and the enclosed portion of the existing structure currently conforms to that requirement.
- b) The Applicants were unaware of the 25-foot setback requirement due to a labeling error on their survey;
- c) The neighboring property at 2740 has an enclosed back porch that that is assumed to sit over the setback line;
Staff Note: 2740 Gnarled Pine appears to encroach 1-2 feet into the required 25-foot rear yard setback. It should be noted that 2740 Gnarled Pine was completed prior to the town's incorporation and, therefore, was built under Charleston County's setback requirements.
- d) Strict application of the rear yard setback requirement would prohibit the Applicants from constructing a screened porch and enjoying their property; and
Staff Note: The existing residence is located approximately 40 feet from the left side property line, leaving ample space for a screened porch that meets the 25-foot rear yard setback requirement; however, interior considerations may exist which were not addressed in the variance application.
- e) The property to the rear of the Applicants' property is owned by the Seabrook Island Club (golf course) and the proposed porch will be located more than 60 feet away from playing grounds of the golf course. The proposed porch will not extend any closer to the rear property line than the existing deck, and the porch will not affect the views of the golf course from neighboring properties.

Staff Comments

As a matter of practice, the town's Zoning Administrator does not typically provide a recommendation in favor of, or in opposition to, a variance application. In our opinion, these requests are best left to the Board of Zoning Appeals following a thorough review of the relevant facts, including the receipt of testimony from interested parties during the required public hearing.

In granting a variance, state law permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Should the Board vote to approve the variance request, staff would recommend in favor of attaching the following conditions:

- The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the Applicants and reviewed by the Board on January 21, 2021. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town's DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.
- The Applicants shall prepare and submit to the Zoning Administrator an as-built survey prior to the issuance of a Certificate of Occupancy (or within 30 days of passing the final inspection if no Certificate of Occupancy is required). The as-built survey shall be prepared and stamped by a professional land surveyor who is qualified to perform such services in the State of South Carolina.
- The variance shall expire on January 21, 2023 (two years from the date of approval) if the Applicants fail to obtain a building permit on or before that date.

Respectfully submitted,



Joseph M. Cronin

Town Administrator/Zoning Administrator

Criteria for Review

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these **conditions do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance **will not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Attachments

The following supplemental items have been attached for review:

Application & Property Information		
1	Variance Application	p. 10-16
2	Existing Conditions	p. 17-18
3	Site Plan & Architectural Drawings	p. 19-24
4	Subdivision Plat (1974)	p. 25-26
5	Property Photos	p. 27-33
6	Zoning Map	p. 34-35
7	Aerial Image	p. 36-37
8	FEMA Base Flood Elevations	p. 38-39
9	Title to Real Estate	p. 40-45
10	Property Information Card	p. 46-50
11	Public Hearing Notice – Letter to Neighboring Property Owners	p. 51-53
12	Public Hearing Notice – List of Neighboring Property Owners	p. 54-55
13	Public Hearing Notice – U.S.P.S. Certified Mail Receipts	p. 56-57
14	Public Hearing Notice – Post and Courier Legal Ad	p. 58-59
15	Public Hearing Notice – Property Posting	p. 60-61
Other Information		
16	SIPOA Approval (10-05-2020)	p. 62-64
17	Zoning Denial Letter (10-13-2020)	p. 65-67
Written Correspondence Regarding the Proposed Variance Request		
18a	Letter from Jeffrey Noel (01-08-2020)	p. 68-69



ATTACHMENT #1

Variance Application



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
 Seabrook Island, SC 29455
 (843) 768-9121

APPLICATION FOR VARIANCE

Board of Zoning Appeals

Any applicant seeking a variance from the zoning requirements of the Town of Seabrook Island's Development Standards Ordinance (hereafter, the "DSO") must submit a written application, along with a \$150.00 application fee and all required supplemental information. Applications must be typed or written legibly in ink. Please attach an additional sheet of paper if more space is needed. If you need assistance filling out this application form, please contact the Zoning Administrator by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

1. PROPERTY INFORMATION					
Please provide information regarding the property which is subject to the variance request.					
Property Address	2730 GNARLED PINE				
Tax Map Number	147-08-00-080	Block	9	Lot	14
Lot Size (Square Feet)	22,814				
Is this property subject to an OCRM critical line? (eg. Marsh or Beachfront Lots)		Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Is this property subject to private restrictions or covenants? (eg. SIPOA or regime)	<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>

2. APPLICANT(S)	
Please provide information regarding the individual(s) who is (are) submitting the variance request.	
Applicant Name(s)	RON WELCH
Applicant Address	1881-A ANNELL BLUFF BLVD, JIHNS ISLAND SC
Applicant Phone Number	843 847 1903
Applicant Email Address	RONA WELCH@GMAIL.COM
If the Applicant is <u>NOT</u> an owner of the property, what is the relationship to the Property Owner(s)?	CONTRACTOR

3. PROPERTY OWNER(S)	
If the Applicant(s) is (are) <u>NOT</u> the property owner(s), please provide information for the property owner(s).	
Owner Name(s)	ROBERT & CHERYL SCHULTZ
Owner Mailing Address	
Owner Phone Number	847 251 3483
Owner Email Address	CSHULTZ@CSMEDIA INC.COM
Designation of Agent (Required if the Applicant(s) is(are) NOT a Property Owner): I (we) hereby designate and appoint the above named Applicant(s) as my (our) agent(s) to represent me (us) in this application.	
Owner Signature(s)	Date 11/16/20
	Date 11/16/20

4. CERTIFICATION	
Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge.	
Applicant Signature(s)	Date 11/16/20
	Date

OFFICE USE ONLY		
Date Filed:	Variance Application #:	Hearing Date:

5. VARIANCE REQUEST

A. Please provide a brief description of the proposed scope of work:

B. In order to complete the proposed scope of work, the Applicant(s) is (are) requesting a variance from the following requirement(s) of the town's DSO:

1) DSO Section Reference(s):

2) DSO Requirement(s):

C. The application of the zoning requirements of the town's DSO will result in unnecessary hardship, and the standards for a variance set by State Law and the DSO are met by the following facts:

1) There are extraordinary and exceptional conditions pertaining to this particular piece of property as follows:

SEE ATTACHED

2) These conditions do not generally apply to other property in the vicinity as shown by:

SEE ATTACHED

3) Because of these conditions, the application of the zoning requirements to this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows:

SEE ATTACHED

4) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons:

SEE ATTACHED

6. APPLICATION MATERIALS

In addition to the completed Variance Application Form, all requests for variance must be accompanied by the supplemental materials listed below. An application is not considered "complete" until all required documentation has been received by the Zoning Administrator. Below is a checklist of the required materials:

- Completed & Signed Variance Application Form (Paper Required; PDF Optional)**
 - Please submit one *completed* paper application. All signatures must be original.
- \$150.00 Application Fee**
 - The application fee may be paid by cash or check only.
- As-Built Survey / Survey of Existing Conditions (Paper Required; PDF Optional)**
 - All applications must be accompanied by an as-built survey which accurately illustrates the existing conditions on the property, including setback measurements for all structures.
- Proposed Site Plan (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications which will change the footprint of one or more existing structures.
 - For lots abutting a marsh or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.
- Scaled Architectural Drawings: (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications to existing structures.
 - Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side and rear elevations, as appropriate.
- Letter of Approval from Property Owners Association and/or Regime: (Paper Required; PDF Optional)**
 - Required for all properties which are subject to private restrictions and/or covenants.
 - If approval is pending, please attach a Letter of Acknowledgement from the POA and/or Regime.
- Letters of support, petitions, photographs, and any other documentation which an Applicant feels may support his or her request may be attached but are not required. (Paper & Digital Files Optional)**

CRITERIA FOR REVIEW

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in **unnecessary hardship**. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these conditions **do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance will **not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Town of Seabrook Island
Board of Zoning Appeals
2001 Seabrook Island Road
Seabrook Island, SC 29455

RE: Notice Of Appeal (Pursuant to § 19.40 of the DSO)
2730-Gnarled Pine
Charleston County Tax ID 147-08-00-080

Date: 11/13/2020

Dear Board,

I am writing on behalf of my clients, Robert and Cheryl Schuldt (owners), requesting appeal of the denial of zoning permit for construction of a screened porch at the rear of an existing residence located at: 2730 Gnarled Pine (**Charleston County Tax ID 147-08-00-080**).

The request for a zoning permit for the above referenced property has been **DENIED** for the following reasons:

- The proposed addition will encroach approximately 5.4 feet into the required 25-foot rear yard setback.
- Note: The property survey incorrectly shows a 15-foot rear yard setback. The minimum rear yard setback requirement is 25 feet. On lots abutting open space (such as a golf course) open decks may be located 15 feet from the property line; however, all other structures must be set back at least 25 feet from the rear property line.
- DSO Code References:
 - § 7.60.20.30. Single Family Setbacks (Rear). Twenty-five (25) feet.
 - § 7.60.60. Open Space Lots – Rear Setback. On lake, lagoon, or golf course lots the minimum rear lot setback of the residential structure must be twenty-five (25) feet. Open decks may extend into the setback, but may not be less than fifteen (15) feet from the rear lot line.

Please review owner Cheryl Scheldt's appeal as follows:

It appears our current deck was built with the original house under different set back codes. We are not looking to expand any deeper toward the golf course, but rather lengthen it to have an enclosed screened in section to enjoy eating outside without insects (no-see-ums, mosquitoes, etc.).

With existing setbacks, we'd never be able to have a screened in deck of any kind, this is the best place to add it without any further encroachment to setbacks with direct neighbors and we will have 60+ feet before the playing grounds of the golf course. It will enhance the look of the house from the view of the golf course.

- Our proposed screened deck doesn't extend any further than our open deck –it aligns 100%. However, it is the furthest distance from the golf course as our lot is a bit of a "triangle" shape in the backyard with the furthest point of the triangle from where we are hoping to have the enclosed deck.
- Our direct neighbors at 2740 Gnarled Pine have an enclosed back porch that sits extremely close to the golf course. I'm guessing it's well over the setback, as it appears to be close to the actual playing greens of the golf course. Our back yard has 60+ feet from where we are proposing the enclosed porch would end, with additional feet before the greens.
- There will not be any detriment to the adjacent properties or the public good or the character of Seabrook Island. A variance in the case of this property is the only real way to continue to honor the character of the property and not to deter other from owning adjacent properties. The impact on the property is at the rear of the property and does not impair the golf course or the enjoyment to the golfers. This would still be 60+ feet away from the currently maintained area of the golf course.

We are quite shocked that it appears we have this large back yard property that we maintain, yet with the setbacks given, we don't have the options to use it even for an extended covered deck. I wonder if someone could come look at the property so we can show how this area is truly the furthest from the golf course greens.

Licensed Contractor, Ron Welch submits the following on behalf of owners as follows:

- The screened porch design was based on assumption that the rear setback was 15' as shown on recent survey (attached)
- Survey does not show 25' setback line
- Approval would not be detrimental to the neighboring homeowners, as it does not affect view of the golf course.
- As new owners, my clients should be allowed to enjoy their back yard insect free.
- There appears to be ample buffer from the rear line to the groomed area of the golf course.

We respectfully request that you consider the appeal and allow the screen porch to be constructed as originally submitted.

Respectfully,

A handwritten signature in blue ink that reads "Ron Welch". The signature is written in a cursive style with a large initial "R".

Ron Welch/ Ron Welch Contracting, LLC.

843.847.1903 /ronawelch@gmail.com

On behalf of:

Robert and Cheryl Schuldt



ATTACHMENT #2

Existing Conditions

Since 1931



A.H. SCHWACKE & ASSOCIATES

LAND SURVEYING & CONSTRUCTION LAYOUT

1975 FRAMPTON AVE. PH: 843-762-7005 FAX 843-762-0103
 P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29422-3077

REFERENCE:

PLAT BY E.M. SEABROOK, JR.
 DATED: NOVEMBER 30, 1973
 BOOK: AC PAGE: 120
 RMC CHAS CO

TAX MAP No 147-08-00-080
 No. 2730 CHARLED PINE

Requested by: RON WELCH

NOTES:

BEARING SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.

AREA DETERMINED BY COORDINATE METHOD.

THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.

THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARIED BY THE SEABROOK ISLAND ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACK GUIDELINES AND/OR TO EXPAND THE "BUILDABLE" AREA.

THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.

NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS CONTAMINATION OR OTHER NONVISIBLE CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

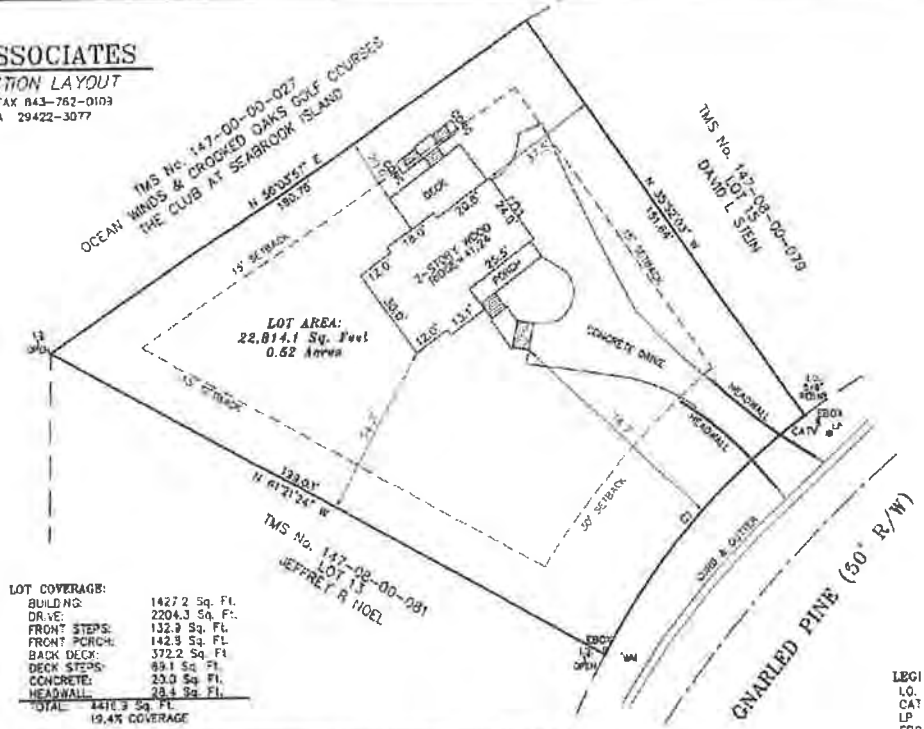
PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE AE (EL 13') AS PER FEMA FLOOD MAPS.
 PARCEL No. 45319C 0785,
 DATED: NOVEMBER 17, 2004
 COMMUNITY No. 450258

* SETBACKS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION BY CONTROLLING AUTHORITY.
SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein. Also there are no visible encroachments or projections other than shown.

KEVIN M. SCHWACKE, SR. PLS
 S.C. Registration Number 20468

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HEREON. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 KM20 / 2020A



LOT COVERAGE:

BUILDING	1427.2 Sq. Ft.
DRIVE	2204.3 Sq. Ft.
FRONT STEPS	132.9 Sq. Ft.
FRONT PORCH	142.9 Sq. Ft.
BACK DECK	372.2 Sq. Ft.
DECK STEPS	89.1 Sq. Ft.
CONCRETE	23.0 Sq. Ft.
HEADWALL	28.4 Sq. Ft.
TOTAL	4416.3 Sq. Ft.
19.4% COVERAGE	

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	220.00'	98.32'	97.50'	N 41°08'22" E	25°36'20"

LEG:
 L.O.
 CAT
 LP
 EBO
 WM



AS-BUILT SUR
 LOT 14 BLOC
 TOWN OF SEABROO
 CHARLESTON COUNTY, SC



DATE: SEPTEMBER 23, 2020



ATTACHMENT #3

Site Plan & Architectural Drawings

Since 1991



A.H. SCHWACKE & ASSOCIATES

LAND SURVEYING & CONSTRUCTION LAYOUT

1975 FRAMPTON AVE PH: 843-762-7005 FAX 843-762-0109
P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29422-3077

REFERENCE:

PLAT BY: E.M. SEABROOK, JR.
DATED: NOVEMBER 30, 1973
BOOK: AC PAGE: 128
RMC CHAS. CO.

TAX MAP No. 147-08-00-080
No. 2730 GNARLED PINE

Requested by: RON WELCH

NOTES:

BEARING SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.

AREA DETERMINED BY COORDINATE METHOD.

THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.

THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARIED BY THE SEABROOK ISLAND ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACK GUIDELINES AND/OR TO EXPAND THE "BUILDABLE" AREA.

THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.

NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS CONTAMINATION OR OTHER NONVISIBLE CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE AE (EL 13') AS PER FEMA FLOOD MAPS.
PANEL No. 45019C 0785J
DATED: NOVEMBER 17, 2004
COMMUNITY No. 450256

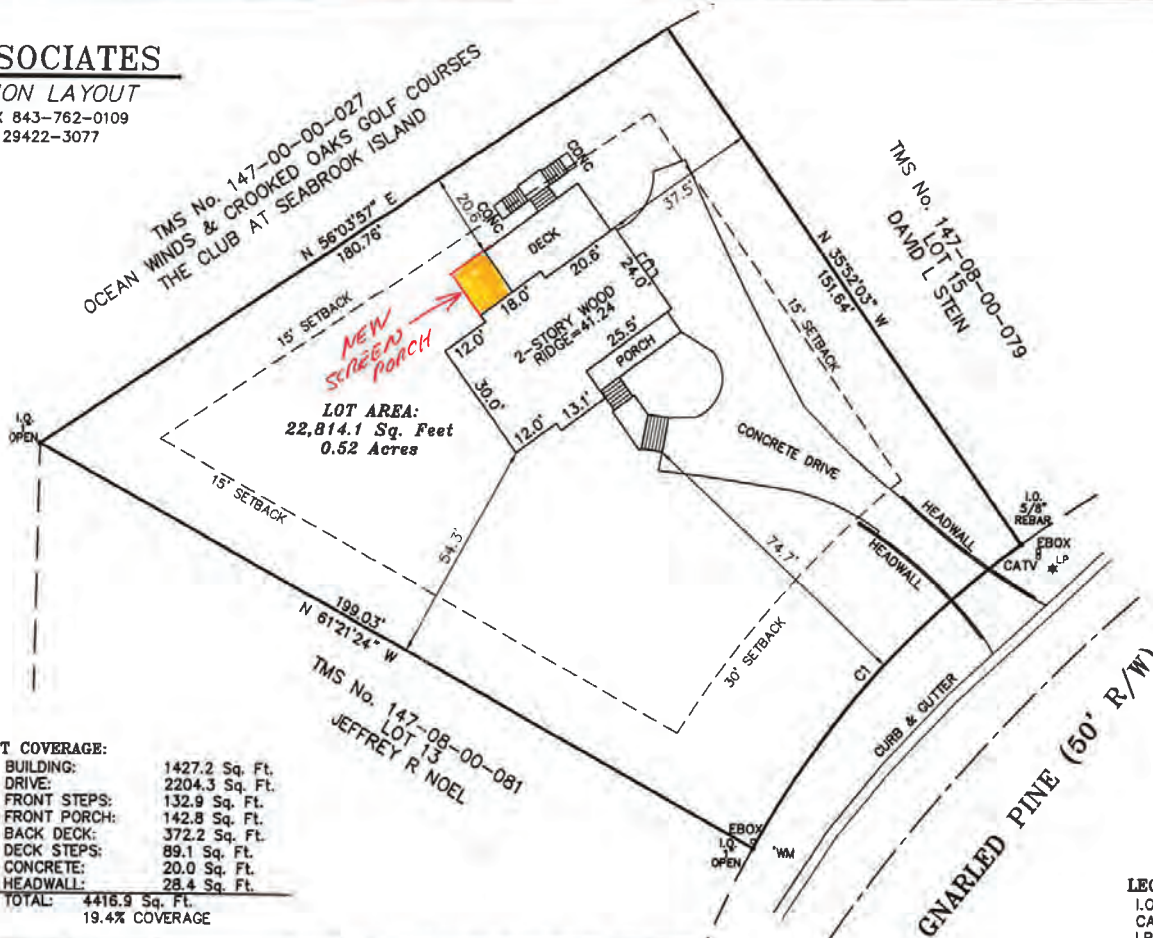
* SETBACKS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION BY CONTROLLING AUTHORITY.

SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein. Also there are no visible encroachments or projections other than shown.

KEVIN M. SCHWACKE, SR. PLS
S.C. Registration Number 20468

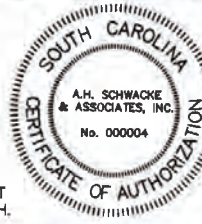
CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HEREON. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH. KIM20 / 20294



LOT COVERAGE:

BUILDING:	1427.2 Sq. Ft.
DRIVE:	2204.3 Sq. Ft.
FRONT STEPS:	132.9 Sq. Ft.
FRONT PORCH:	142.8 Sq. Ft.
BACK DECK:	372.2 Sq. Ft.
DECK STEPS:	89.1 Sq. Ft.
CONCRETE:	20.0 Sq. Ft.
HEADWALL:	28.4 Sq. Ft.
TOTAL:	4416.9 Sq. Ft.
	19.4% COVERAGE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	220.00'	98.32'	97.50'	N 41°08'22\"	25°36'20\"

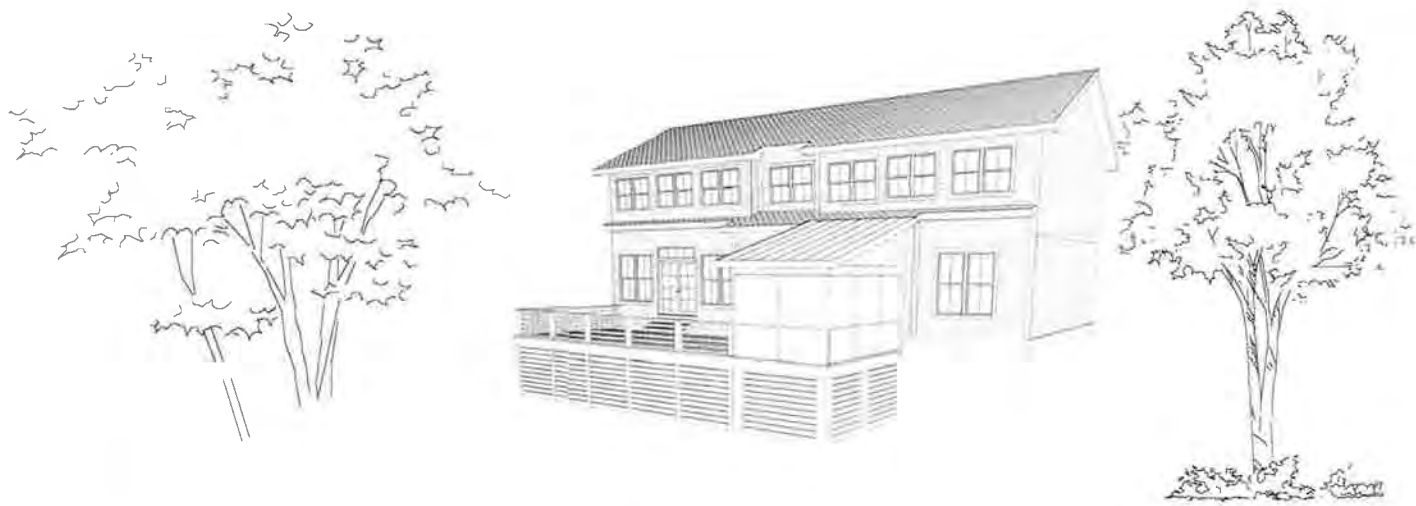


AS-BUILT SURVEY
LOT 14 BLOCK 9
TOWN OF SEABROOK ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA



DATE: SEPTEMBER 23, 2020 SCALE: 1" = 30'

GRID



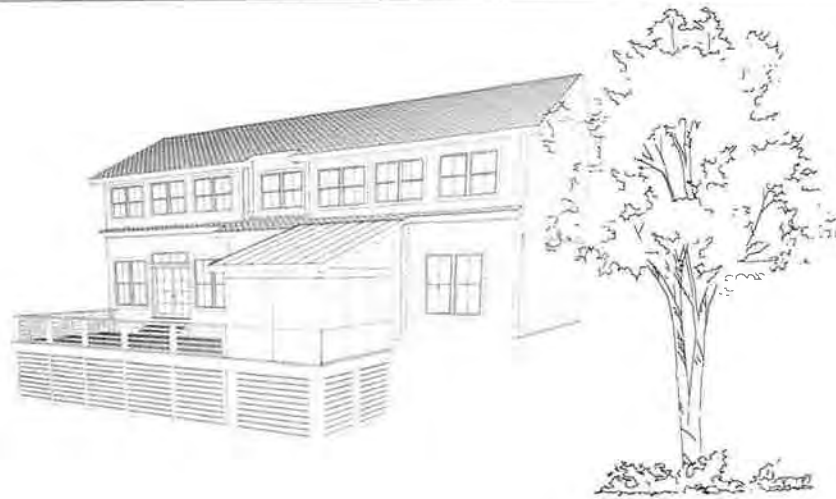
Schuldt Residence - Deck Addition
2730 Gnarled Pine, Seabrook Island, SC 29455

ADD 10' X 14' SCREEN PORCH W/ LOUVERS BELOW

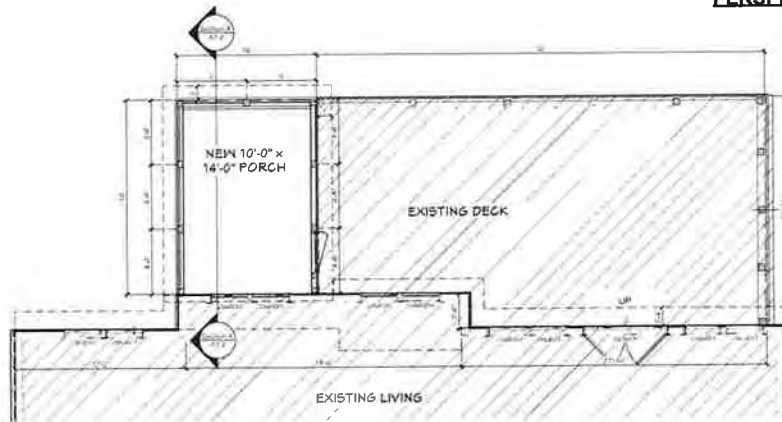
LIVING AREA
 10' X 14' ADDITION 1182 sqft

SHEET INDEX	
SHEET #	DRAWINGS
T1.1	SHEET INDEX
A1.1	TITLE PAGE, NOTES
A1.2	PRESET FLOOR PLAN
A2.1	FOUNDATION & FRAMING & SECTION ELEVATIONS

NO.	REVISIONS	DATE
TITLE PAGE / NOTES		
PRODUCT NAME AND PRICE Schuldt Residence 2730 Gnarled Pine Seabrook Island, SC 29455		
DRAWINGS PROVIDED BY: Ron Welch Contracting, LLC 843-847-1903		
DATE: 8/27/2020		
SHEET: T1.1		



PERSPECTIVE VIEW
n.t.s.



FIRST FLOOR PLAN
Scale: 1/4" = 1'

DATE	BY	DATE

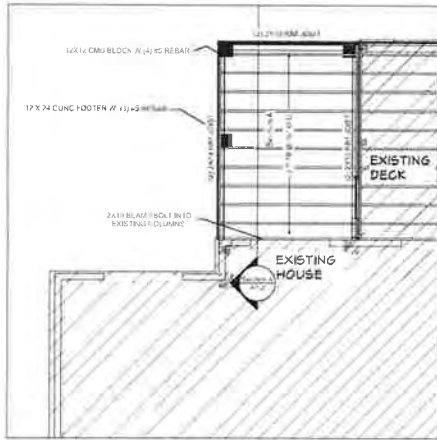
SHEET TITLE:
**FIRST FLOOR
PLAN**

PROJECT NAME/ADDRESS:
Schuldt Residence
2730 Gnarled Pine
Seabrook Island, SC 29455

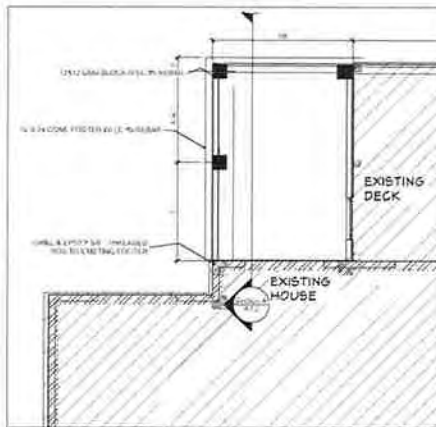
DRAWINGS PROVIDED BY:
Ron Welch Contracting, LLC
843-847-1903

DATE:
8/27/2020

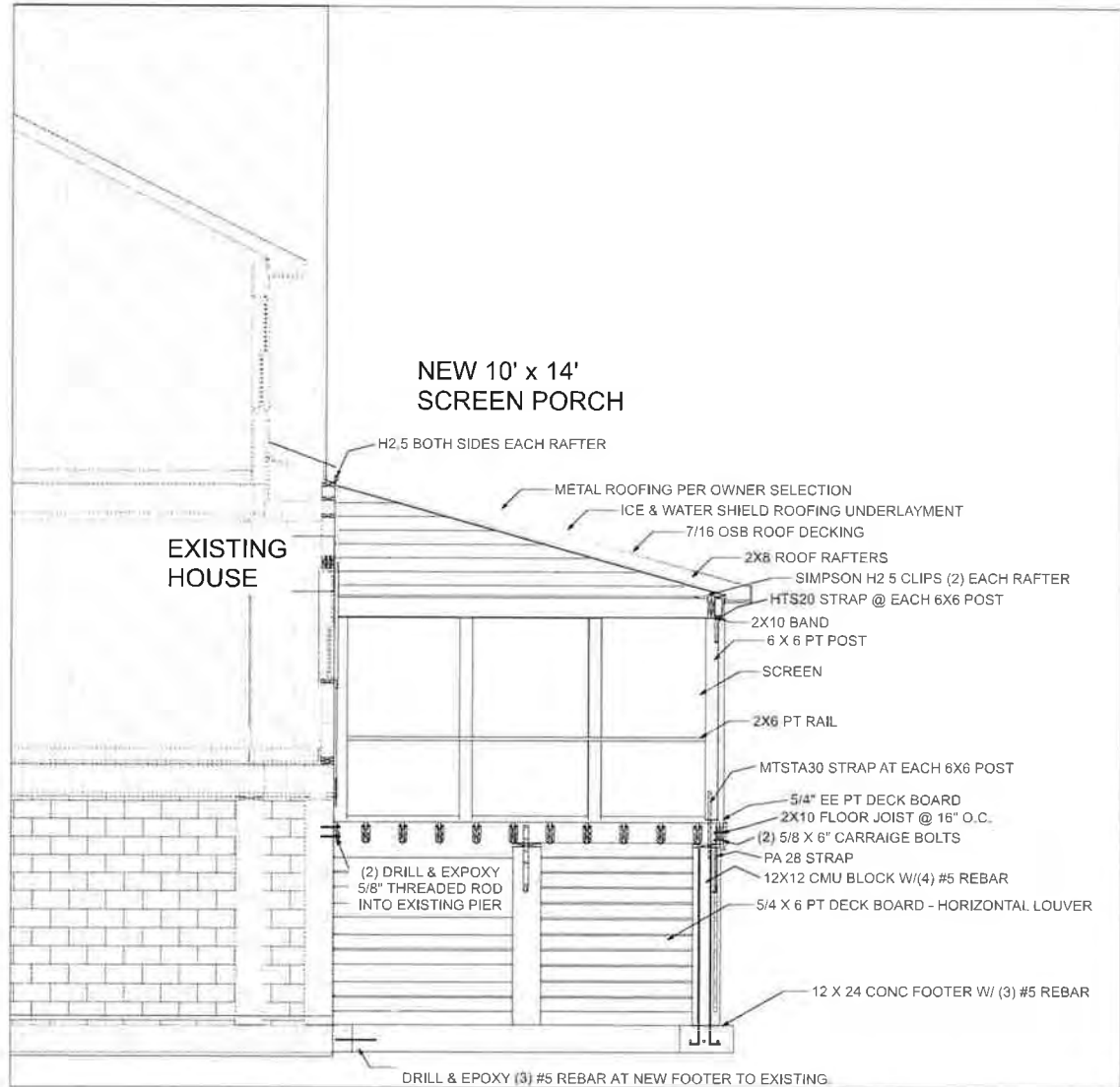
SHEET:
A1.1



FRAMING PLAN
Scale: 1/4" = 1'



FOUNDATION PLAN
Scale: 1/4" = 1'



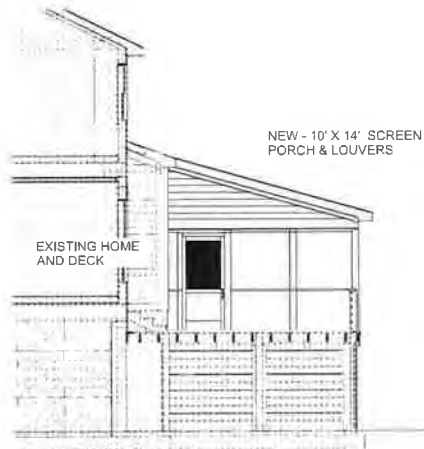
SECTION - A
Scale 1/2" = 1'

DATE:	8/27/2020
SHEET:	A1.2
FOUNDATION & FRAMING SECTION	
Schudt Residence 2730 Gnarled Pine Seabrook Island, SC 29455	
Ron Welch Contracting, LLC 843-847-1903	



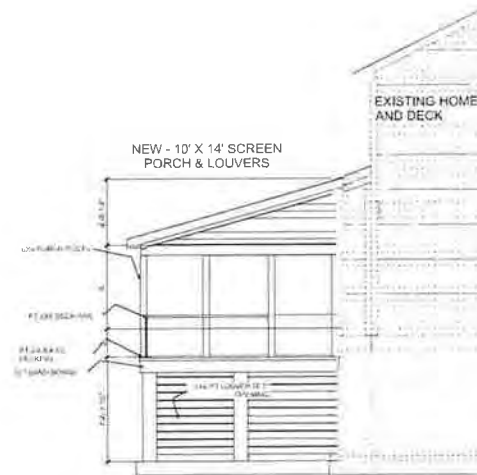
REAR ELEVATION

Scale: 1/4" = 1'



LEFT ELEVATION

Scale: 1/4" = 1'



RIGHT ELEVATION

Scale: 1/4" = 1'

NO.	DESCRIPTION	DATE
1	PRELIMINARY	08-17-20
2		

ELEVATIONS

PROJECT DESCRIPTION:
Schuld's Residence
 2730 Grated Pine
 Seabrook Island, SC 29455

OWNER: **Ron Welch Contracting, LLC**
 843-847-1903

DATE:
 8/27/2020

SHEET:

A2 1

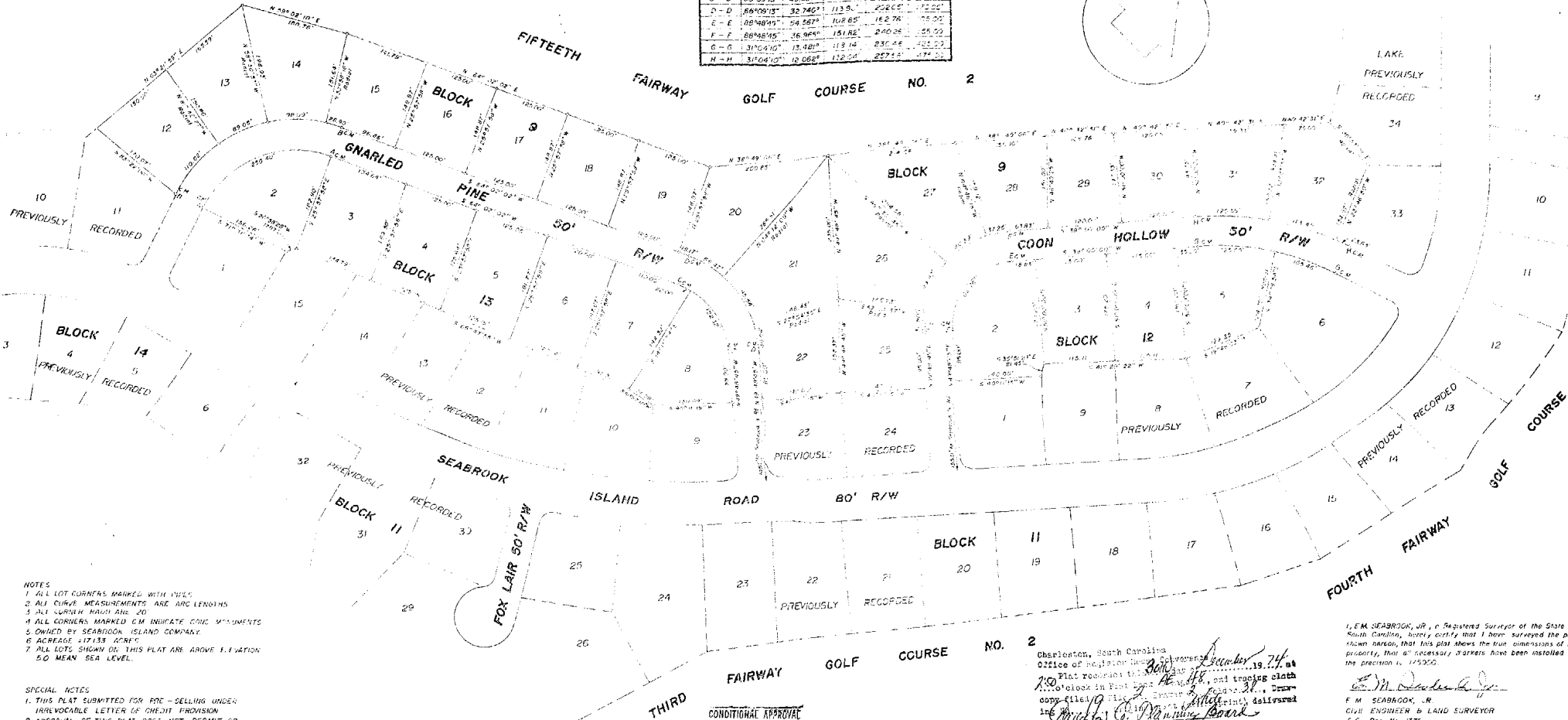


ATTACHMENT #4

Subdivision Plat (1974)

X105-194

CURVE	CURVE DATA			
	Δ	D	T	R
A-A	84°23'33"	53.703'	15.123'	250.40'
B-B	84°23'33"	86.044'	199.46'	324.05'
C-C	65°00'13"	45.837'	81.41'	144.3'
D-D	64°00'13"	32.740'	113.9'	228.05'
E-E	08°48'45"	54.567'	108.85'	182.76'
F-F	88°48'45"	26.965'	151.85'	240.26'
G-G	31°02'10"	13.481'	113.14'	230.44'
H-H	31°02'10"	12.082'	132.04'	257.42'



- NOTES
1. ALL LOT CORNERS MARKED WITH "X"
 2. ALL CURVE MEASUREMENTS ARE ARC LENGTHS
 3. ALL CURVES HAVE AN R/W
 4. ALL CORNERS MARKED WITH INSURANCE CODE MEASUREMENTS
 5. OWNED BY SEABROOK ISLAND COMPANY
 6. ACREAGE = 17.133 ACRES
 7. ALL LOTS SHOWN ON THIS PLAN ARE ABOVE ELEVATION 5.0 MEAN SEA LEVEL.

- SPECIAL NOTES
1. THIS PLAN SUBMITTED FOR PRE-SELLING UNDER IRREVOCABLE LETTER OF CREDIT PROVISION
 2. APPROVAL OF THIS PLAN DOES NOT PERMIT OR AUTHORIZE OCCUPANCY
 3. DURATION OF APPROVAL SHALL BE FOR ONE YEAR
 4. THE APPROVAL OF THIS PLAN IN NO WAY OBLIGATES THE COUNTY OF CHARLESTON TO ACCEPT FOR CONTINUED MAINTENANCE ANY OF THE ROADS OR EASEMENTS SHOWN HEREON

NOTE: ALL STREETS AND EASEMENTS SHOWN ON THIS PLAN ARE PRIVATE AND ARE TO BE MAINTAINED BY SEABROOK ISLAND COMPANY, ITS SUCCESSORS OR ASSIGNS.

CONDITIONAL APPROVAL
 Pre-selling Permitted
 Linder Barring & Safety Provisions
 Clerk, Charleston County Council
 Director of Planning
 Charleston County Planning Board

APPLICATION # _____ Date _____

1134
 A16
 12-18-74

Charleston, South Carolina
 Office of Registrar
 Plat recorded this 27th day of December 1974 at 1:00 o'clock in the afternoon of said date at _____
 Clerk of the Board of Registrars
 to _____

Registrar

E. M. SEABROOK, JR., a Registered Surveyor of the State of South Carolina, hereby certifies that I have surveyed the property shown herein, that this plan shows the true dimensions of the property, that all necessary markers have been installed and the precision is 1/45000.

E. M. SEABROOK, JR.
 CIVIL ENGINEER & LAND SURVEYOR
 S.C. Reg. No. 1375

SEABROOK ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA
 PLAT OF LOTS 12-22 AND 25-32 BLOCK 9, LOTS 2-5 BLOCK 12 AND LOTS 2-8 BLOCK 13.
 SCALE 1" = 100'

NOVEMBER 27, 1974

E. M. SEABROOK, JR., INC.
 ENGINEERS - SURVEYORS - PLANNERS



ATTACHMENT #5

Property Photos















ATTACHMENT #6

Zoning Map





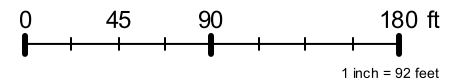
ATTACHMENT #7

Aerial Image



2730 Gnarled Pine

#



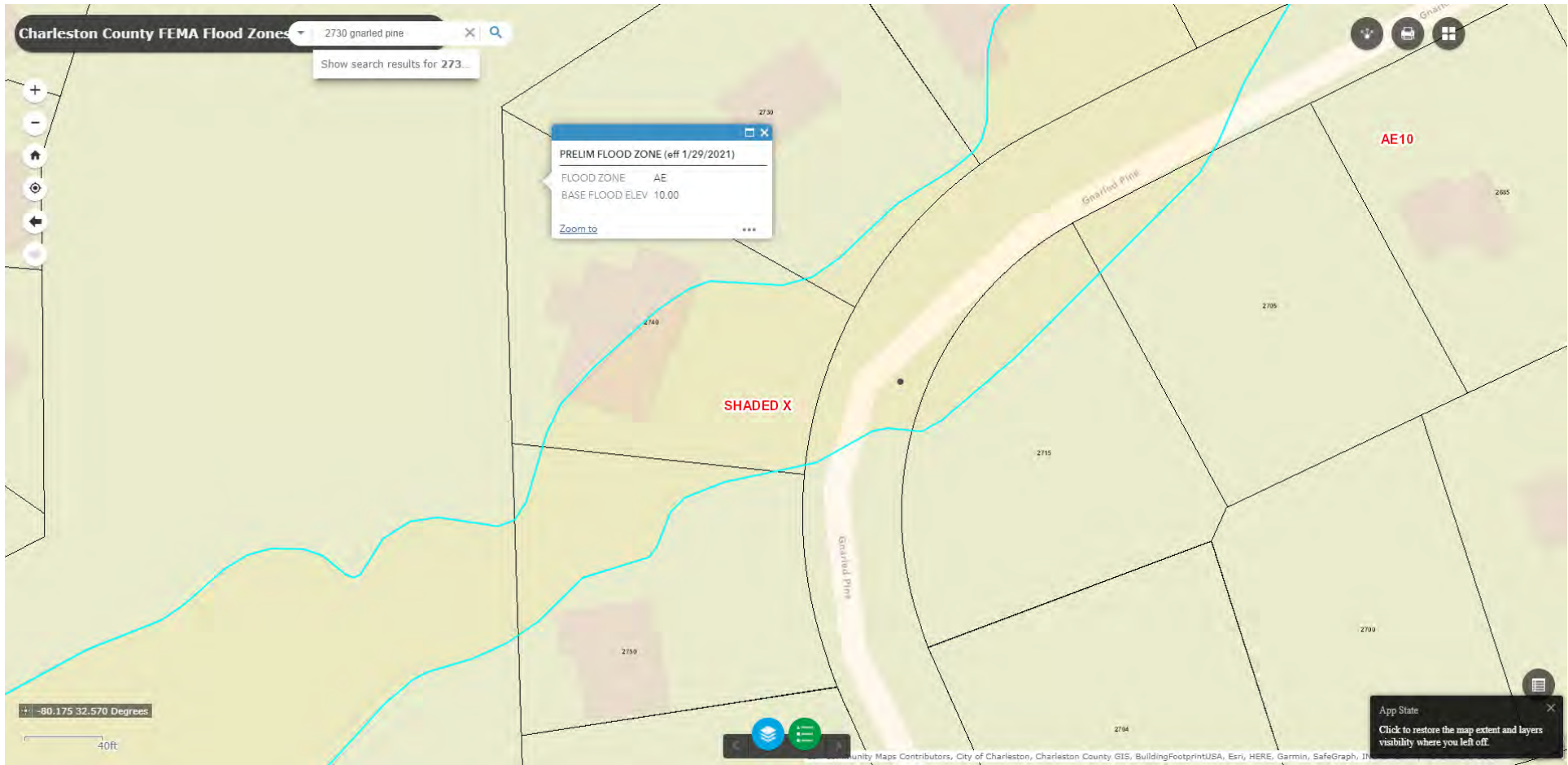
Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.

Author: Charleston County SC
Date: 1/12/2021



ATTACHMENT #8

FEMA Base Flood Elevation





ATTACHMENT #9

Title to Real Estate

EXHIBIT A

ALL that certain piece, parcel or lot of land, with improvements thereon, situate, lying and being on Seabrook Island, Charleston County, South Carolina, and known and designated as LOT 14, BLOCK 9, on a plat by E.M. Seabrook, Jr., CE & LS, dated November 30, 1973, and recorded in the RMC Office for Charleston County, South Carolina in Plat Book AC at Page 128; and as more recently shown on a Plat recorded in Plat Book AE at Page 111, said RMC Office. Said lot having the size, shape, dimensions, buttings and boundings, more or less, as are shown on said plat, which is specifically incorporated herein by reference.

This conveyance is subject to the Restrictions and Protective Covenants dated November 13, 1972, and duly recorded in the RMC Office for Charleston County in Book N100, Page 296; as amended by instrument recorded in Book Y100 at Page 143; and Second Modification thereto dated March 26, 1985 and recorded in Book J144, Page 67; Third Amendment of Protective Covenants dated April 24, 1987 and recorded in the RMC Office for Charleston County in Book J164 at Page 487; Also, Second restated and amended ByLaws dated October 18, 1984 and recorded in Book E141 at Page 267; as amended by instrument dated March 26, 1985 and recorded in the RMC Office for Charleston County in J144, Page 59, and as further amended from time to time.

Said property is subject to all applicable covenants, conditions, restrictions, limitations, obligations and easements of record affecting subject property.

AFFIDAVIT FOR TAXABLE OR EXEMPT TRANSFERS

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this Affidavit and I understand such information.
2. The property being transferred is located at 2730 Gnarled Pine, Seabrook Island, SC 29455 bearing Charleston County Tax Map Number 147-08-00-080, was transferred by **Mark J. Schindler and Cynthia B. Schindler** to **Robert F. Schuldt, II and Cheryl L. Schuldt** on April 25, 2017.
3. Check one of the following: The deed is
 - (a) X subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) ___ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as distribution to a trust beneficiary.
 - (c) ___ exempt from the deed recording fee because (See Information section of affidavit): _____ (If exempt, please skip items 4-7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes _____ or No _____

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See information section of this affidavit.):
 - (a) X The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$666,300.00
 - (b) ___ The fee is computed on the fair market value of the realty which is \$ _____.
 - (c) ___ The fee is computed on the fair market value of the realty as established for property tax purposes which is \$ _____

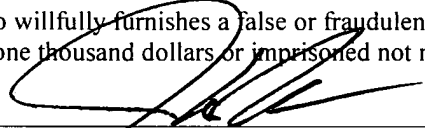
5. Check YES ___ or NO X to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. (This includes, pursuant to Code Section 12-59-140(E)(6), any lien or encumbrance on realty in possession of a forfeited land commission which may subsequently be waived or reduced after the transfer under a signed contract or agreement between the lien holder and the buyer existing before the transfer.) If "Yes," the amount of the outstanding balance of this lien or encumbrance is: _____.

6. The deed recording fee is computed as follows:
 - (a) Place the amount listed in item 4 above here: 666,300.00
 - (b) Place the amount listed in item 5 above here: _____
(If no amount is listed, place zero here.)
 - (c) Subtract line 6(b) from Line 6(a) and place result here: 666,300.00

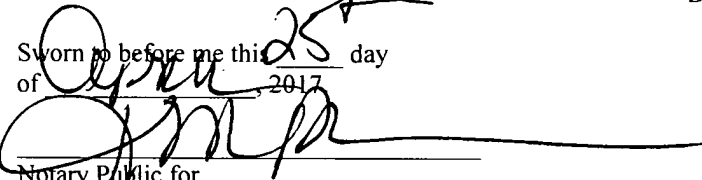
7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is: 2,466.05

8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as : Legal Representative

9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.



 Legal Representative
 BUIST, BYARS & TAYLOR, LLC

Sworn to before me this 25 day
 of April, 2017


 Notary Public for
 My Commission Expires: _____

KRISTIN M. BRADSHAW Notary Public, South Carolina My Commission Expires August 19, 2024
--

RECORDER'S PAGE



NOTE: This page **MUST** remain with the original document

Filed By:

BUIST BYARS & TAYLOR, LLC
 FRESHFIELDS VILLAGE
 130 GARDNER'S CR PMB 138
 JOHNS ISLAND SC 29455 (BOX)

RECORDED		
Date:	April 27, 2017	
Time:	1:02:32 PM	
<u>Book</u>	<u>Page</u>	<u>DocType</u>
0633	575	Deed
Charlie Lybrand, Register Charleston County, SC		

MAKER:

SCHINDLER MARK J AL

Note:

RECIPIENT:

SCHULDT ROBERT F II AL

Original Book:

Original Page:

AUDITOR STAMP HERE
 RECEIVED From RMC
 Apr 28, 2017
 Peter J. Tecklenburg
 Charleston County Auditor

PID VERIFIED BY ASSESSOR
 REP MKD
 DATE 05/01/2017
 4

of Pages:

Recording Fee	\$ 10.00
State Fee	\$ 1,732.90
County Fee	\$ 733.15
Extra Pages	\$ -
Postage	\$ -
Chattel	\$ -
TOTAL	\$ 2,476.05

DRAWER
 CLERK



0633
Book



575
Page



04/27/2017
Recorded Date



5
Pgs



Original Book



Original Page



D
Doc Type



13:02:32
Recorded Time

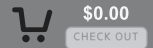


ATTACHMENT #10

Property Information Card



- WELCOME
- REAL PROPERTY RECORD SEARCH
- REAL PROPERTY BILL SEARCH
- PERSONAL PROPERTY SEARCH
- MOTOR VEHICLE SEARCH
- CHECKOUT
- CONTACT US



- [← RETURN](#)
- [🔍 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)

Property Information

Current Owner: SCHULDT ROBERT F II SCHULDT CHERYL L 1117 ASHLAND AVE WILMETTE IL 60091	Property ID	1470800080
	Physical Address	2730 GNARLED PINE
	Property Class	101 - RESID-SFR
	Plat Book/Page	/
	Neighborhood	111403 AD03 Chateau by the Greens
	Deed Acres	0.0000

Legal Description

Subdivision Name -SEABROOK ISLAND Description -LT 14 BLK 9 Description -LT 14 BL
K 9
PlatSuffix AE-48 PolTwp 009

Sales History

Book	Page	Date	Grantor	Grantee	Type	Deed	Deed Price
0633	575	4/25/2017	SCHINDLER MARK J	SCHULDT ROBERT F II	S	Ge	\$666,300
0284	384	10/3/2012	MIECHKOWSKI JOHN	SCHINDLER MARK J	S	Ge	\$365,000
L511	024	9/30/2004	ROTHWELL MADELEINE T	MIECHKOWSKI JOHN		Ge	\$532,500
D468	264	9/15/2003	ROTHWELL THOMAS B	ROTHWELL MADELEINE T		Ge	\$9
T213	054	5/7/1992	BARON CHARLES R	ROTHWELL THOMAS B		Ge	\$42,000
C170	759	10/28/1987		BARON CHARLES R		Ge	\$40,000

- [← RETURN](#)
- [🔍 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)

PIN: 1470800080

This data is as-of 12-17-2020



The information on this page is for Tax Year 2020 and reflects the status of the property for that tax year. This includes building information, values and information on exemptions, discounts and special assessments. Any changes for Tax Year 2021 will not be displayed until later in 2021.

Value Info

Legal Residence	LR Pct	AgUse	ATI 25Pct Exemption	Assessed Value
N	0	N	N	\$43,300
		Land	Improvement	Total
Market Value		\$119,500	\$602,100	\$721,600
Capped Value *		\$119,500	\$602,100	\$721,600
Taxable/Use Value **		\$119,500	\$602,100	\$721,600

Value History

	2019	2018	2017	2016
Market Value	\$665,000	\$665,000	\$478,500	\$478,500
Capped Value *	\$665,000	\$665,000	\$478,500	\$478,500
Taxable/Use Value **	\$665,000	\$665,000	\$478,500	\$478,500
Assessed Value	\$39,900	\$39,900	\$28,710	\$28,710

* **Capped Value:** At County-wide reassessments the increase in the value of a property for tax purposes is limited (capped) at no more than 15%.

** **Taxable/Use Value:** The Capped Value and Taxable/Use Value are usually the same. If the property has been approved for Agricultural Use the values will be different.

Dwelling Info

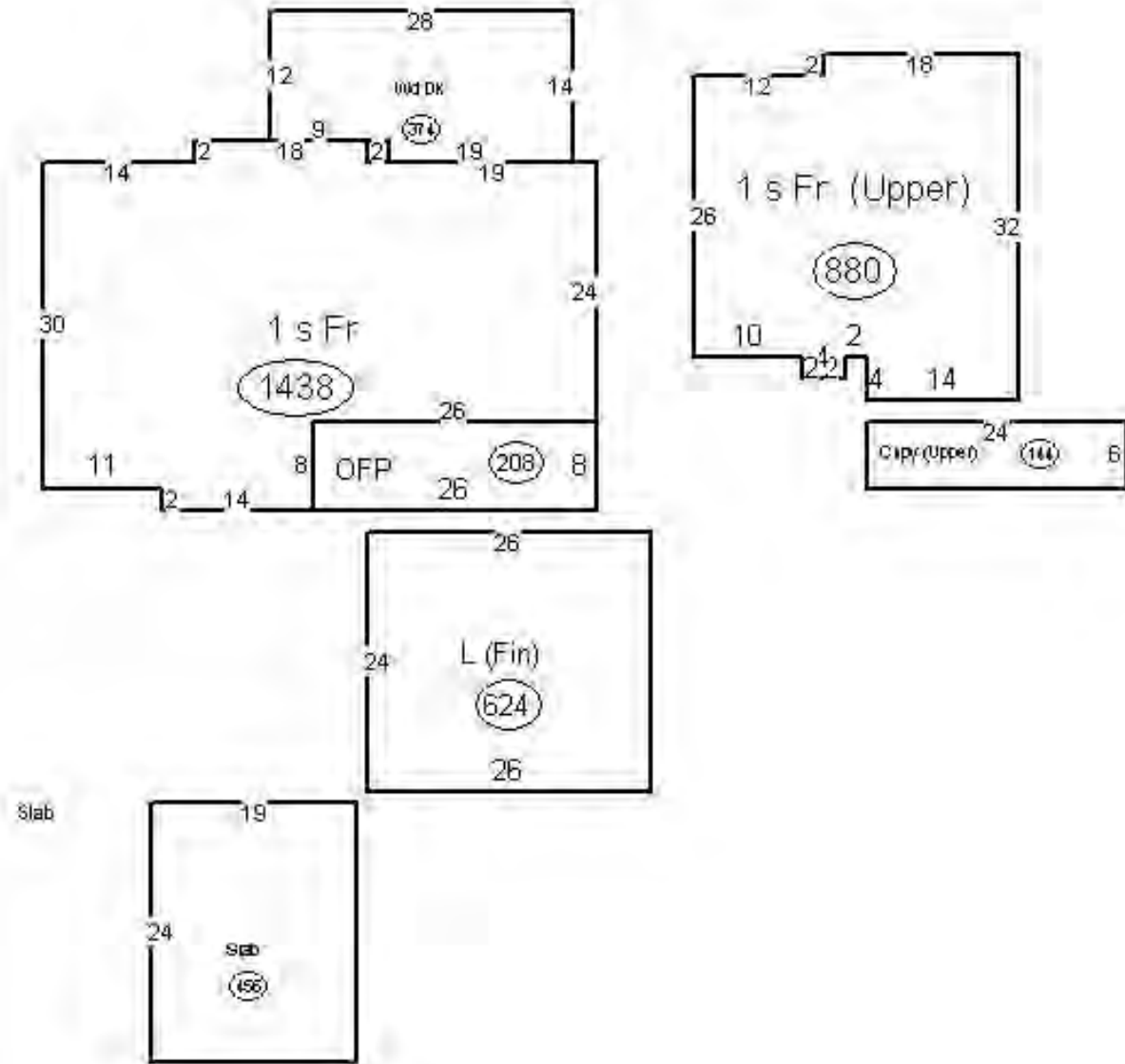
Extension	House Type	Year Built	Total Finished Living Area	Bedroom Count	Full Bath Count	Half Bath Count	Total Stories
R01	21 1.5 Stories	1994	2942	3	2	1	2

Additional Improvements

No data available

Sketches

R01



Municipalities

- [City of Charleston](#)
- [City of Folly Beach](#)
- [City of North Charleston](#)
- [City of Isle of Palms](#)

Additional Resources

- [Arts & Entertainment](#)
- [CARTA Transit System](#)
- [Sex Offenders Search](#)
- [Identity Theft Info](#)
- [Traffic Cam](#)

Social Media



[Town of Awendaw](#)
[Town of Hollywood](#)
[Town of James Island](#)
[Town of Kiawah Island](#)
[Town of McClellanville](#)
[Town of Meggett](#)
[Town of Mount Pleasant](#)
[Town of Ravenel](#)
[Town of Rockville](#)
[Town of Seabrook Island](#)
[Town of Sullivan's Island](#)

[County Library](#)
[County Parks](#)
[Transportation](#)
[Sales Tax](#)
[School District](#)
[Charleston](#)
[Community Guide](#)

[Make-A-Wish Car](#)
[Donation](#)
[United Way 24hr](#)
[hotline](#)
[Visitor Information](#)

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Report technical problems with this site to webmaster@charlestoncounty.org

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ATTACHMENT #11

Public Hearing Notice:
Letter to Neighboring Property Owners



PUBLIC HEARING NOTICE

TO: Neighboring Property Owners
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Request for 2730 Gnarled Pine (Variance #171)
DATE: December 18, 2020

Dear Property Owner,

The purpose of this letter is to notify you that the owners of **2730 GNARLED PINE** have requested a **VARIANCE** from the zoning requirements of the Town's Development Standards Ordinance (DSO). The purpose of the variance request is **TO REDUCE THE REQUIRED REAR YARD SETBACK FROM 25 FEET TO APPROXIMATELY 19.5 FEET TO ALLOW FOR CONSTRUCTION OF A SCREENED PORCH ADDITION AT THE REAR OF THE EXISTING HOME**. A copy of the variance application is enclosed for your information.

The Town's Board of Zoning Appeals has scheduled a **VIRTUAL PUBLIC HEARING**, during which time the Board will receive testimony from any individual who wishes to provide a comment regarding the variance request. This notification is being provided to you pursuant to Section § 19.30.20.30 of the DSO.

PUBLIC HEARING DATE: Thu. January 21, 2021
PUBLIC HEARING TIME: 2:30 PM
PUBLIC HEARING LOCATION: Virtual Meeting via Zoom

Participate in the Virtual Public Hearing: Individuals who wish to participate in the Virtual Public Hearing via Zoom may access the meeting as follows:

- **To join by computer, tablet or mobile device:**
<https://us02web.zoom.us/j/89400634207?pwd=bDVXY0JBbm15dmRQajhSVk94bFBtZz09>
- **To join by phone:** Call (646) 558-8656 **Please note that long distance rates may apply**
- **Meeting ID:** 894 0063 4207 **Passcode:** 888171

Submit a Written Comment: Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:

- **ONLINE:** www.townofseabrookisland.org/variance-171.html
- **EMAIL:** jcronin@townofseabrookisland.org
- **MAIL:** Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

The meeting will be live streamed on the town's YouTube channel beginning at 2:30 PM at the following address: <https://www.youtube.com/channel/UCIkF87knEApHD1q0kGlaGZg>

If you have any questions about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Cronin". The signature is fluid and cursive, with the first letter of the first name being a large, stylized capital 'J'.

Joseph M. Cronin
Town Administrator/Zoning Administrator



ATTACHMENT #12

Public Hearing Notice:
List of Neighboring Property Owners

Variance Notification List

2730 Gnarled Pine

Property Address	Owner(s) of Record	Mailing Address	City	State	Zip
2720 Gnarled Pine	David & Patricia Stein	2720 Gnarled Pine	Seabrook Island	SC	29455
2710 Gnarled Pine	James & Barbara Kaatz	2710 Gnarled Pine	Seabrook Island	SC	29455
2740 Gnarled Pine	Jeffrey & Kathryn Noel	2740 Gnarled Pine	Seabrook Island	SC	29455
2750 Gnarled Pine	Robert & Katherine Newman	160 Cabell Way	Charlotte	NC	28211
2704 Gnarled Pine	Tina Kingsbury	1109 Lodge Hill Road	Louisville	KY	40223
2715 Gnarled Pine	Christopher & Dorothy Horn	1538 Worthy Court	Belmont	NC	28012
2705 Gnarled Pine	Michelle Diaz-Kotti	166 Timberleaf Drive	Duncan	SC	29334
1005 Crooked Oaks Lane	Lucky Seagull LLC	93 Papelye Street Apt 3H	Brooklyn	NY	11231
1009 Crooked Oaks Lane	Robert & Cynthia Leonard	1009 Crooked Oaks Lane	Seabrook Island	SC	29455
1013 Crooked Oaks Lane	Norvell Office Properties I LLC	1612 Harborview Road	Charleston	SC	29412
1017 Crooked Oaks Lane	Norvell Office Properties I LLC	1612 Harborview Road	Charleston	SC	29412
Golf Course	The Club at Seabrook Island	1002 Landfall Way	Seabrook Island	SC	29455
Property Owners Association	Seabrook Island Property Owners Association	1202 Landfall Way	Seabrook Island	SC	29455
Regime	Not Applicable				





ATTACHMENT #13

Public Hearing Notice:
U.S.P.S. Certified Mail Receipts

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Johns Island, SC 29455

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
David & Patricia Stein
270 Grand Pine
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Johns Island, SC 29455

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
James & Barbara Kadz
270 Grand Pine
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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Johns Island, SC 29455

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Jeffrey & Kathryn Noel
270 Grand Pine
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

Charlotte, NC 28211

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Robert & Katherine Newman
160 Cabell Way
Charlotte, NC 28211

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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Louisville, KY 40223

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Tim Kingsbury
1109 Lodge Mill Rd
Louisville, KY 40223

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com®.

Belmont, NC 28012

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Christopher & Dorothy Horn
1538 Worthing Court
Ramat, NC 28012

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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Duncan, SC 29334

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Michelle Diaz-Kath
166 Timberleaf Drive
Duncan, SC 29334

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com®.

Brooklyn, NY 11231

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Lucky Seussell LLC
93 Papelye Street Apt 3H
Brooklyn, NY 11231

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Johns Island, SC 29455

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Robert & Cynthia Leonard
109A Crooked Oaks Lane
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Charleston, SC 29412

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
Norwell Office Properties I LLC
1614 Hether View Rd
Charleston, SC 29412

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Johns Island, SC 29455

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

Sent To
The ab at Seabrook Island
1624 Landfall Way
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Johns Island, SC 29455

Certified Mail Fee	\$3.55	0455
Extra Services & Fees (check box, add fee as appropriate)	\$2.05	07
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.70	
Total Postage and Fees	\$7.10	

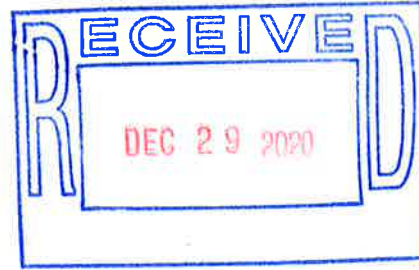
Sent To
Seabrook Island Property Owners Assc
1624 Landfall Way
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



ATTACHMENT #14

Public Hearing Notice:
Post & Courier Legal Ad



TOWN OF SEABROOK ISLAND
2001 SEABROOK ISLAND RD
JOHNS ISLAND SC 29455
Attn: Faye Allbritton

AFFIDAVIT OF PUBLICATION

The Post and Courier

State of South Carolina
County of Charleston

Personally appeared before me the undersigned advertising clerk of the above indicated newspaper published in the city of Charleston, county and state aforesaid, who, being duly sworn, says that the advertisement of

(copy attached)

appeared in the issues of said newspaper on the following day(s):

12/21/20 Mon PC
12/21/20 Mon CNW

at a cost of **\$240.62**
Account# **108294**
Order# **1913776**
P.O. Number:

Subscribed and sworn to before me this 22nd day of December A.D. 2020

[Signature]
advertising clerk



[Signature]
NOTARY PUBLIC, SC
My commission expires

TOWN OF SEABROOK ISLAND, SC NOTICE OF PUBLIC HEARING

The Town of Seabrook Island Board of Zoning Appeals will conduct a Virtual Public Hearing at 2:30 pm on January 21, 2021. During the meeting, the Board will consider the following requests for variance from the Development Standards Ordinance for the Town of Seabrook Island:

APPLICATION # 171

APPLICANT: Robert & Cheryl Schudi (Owners), Ron Welch (Applicant)

LOCATION:

2730 Gnarled Pine
TAX MAP #: 147-08-00-080
ZONING DISTRICT: SR
Single-Family Residential
CODE SECTION: 7.60.20.30 / 7.60.60 25-foot rear yard setback required for residential structures

VARIANCE(S) REQUESTED: To reduce the required rear yard setback from 25 feet to approximately 19.5 feet to allow for construction of a screened porch addition

APPLICATION # 172

APPLICANT: Ashton Holloway (Owner)

LOCATION:

3016 Seabrook Village Drive
TAX MAP #: 147-00-00-059
ZONING DISTRICT: MF
Multi-Family Residential
CODE SECTION: 6.80 (Village at Seabrook PUD, as amended by Ord. 2020-01)
30-foot front yard setback required from both street frontages on corner lots

VARIANCE(S) REQUESTED: To reduce the required front yard setback on the secondary street frontage from 30 feet to twenty 20 feet to allow for construction of a detached single-family home

Documents relating to the variance requests may be viewed on the town's website at

www.townofseabrookisland.org.

Participate in the Virtual Public Hearing: Individuals who wish to participate in the Virtual Public Hearing via Zoom may access the meeting as follows:

• To join by computer, tablet or mobile device:

<https://us02web.zoom.us/j/89400634207?pwd=bDVXY0JBbn15dmRQalhSVk94bFRTZz09>

• To join by phone: Call (646) 558-8659. Please note that long distance rates may apply.

• Meeting ID: 894 0063 4207
Passcode: 888171

Submit a Written Comment: Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:

ONLINE:
<https://www.townofseabrookisland.org>

E MAIL: icronin@townofseabrookisland.org
MAIL: Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

The meeting will be live streamed on the town's YouTube channel at the following address: <https://www.youtube.com/channel/UCIkF87kn>



ATTACHMENT #15

Public Hearing Notice:
Property Posting



PUBLIC HEARING

Reasoning Request Case # 746-2632

Variance Request Case # 171

Request: (see yard setback from 25' to 19.5' (overhanging))

Hearing Date: **January 21, 2024** Time: **2:50**

Location: Town Hall - 200 Sansonville Road
* Via Zoom

More Information [Click Here](#)

PLANNING DEPARTMENT



ATTACHMENT #16

SIPOA Approval
(10-05-2020)



SEABROOK ISLAND
Property Owners Association
1202 Landfall Way • Johns Island, SC 29455
Tel. (843) 768-0061
www.discoverseabrook.com

202005640

Application # (for office use only)

Architectural Review • arc@sipoa.org

Request for Exterior Alteration/Maintenance Proposed or Existing Dwelling, Appurtenant Structure, or Hardscape

Change/Update to Existing Approval Property is in Regime _____

The following is to be completed and signed by the Property Owner. This form must be accompanied by all information as outlined in the Review Process for Exterior Alterations to Existing Dwellings procedure (see SIPOA Policies and Procedures §III.A).

Construction Location:

Application Date: 9/1/20

Block: 09 Lot: 14 TMS #: 147-08-00-08U

Property Address: 2730 GNARLEN PINE

Property Owner: ROB & CHERYL SCHULTZ Contractor: RON WELCH

Address: STAFF Address: 1881-A ANDELL BLUFF BLVD

JOHNS ISLAND SC 29455

Telephone #: 847-251-3483 Telephone #: 843 847-1903

Email: CSHULTZ@CSMEDIAINC.COM Email: RONAWELCH@GMAIL.COM

Proposed Work & Information Required (check all that apply)

- Deck (site plan & material information)
- Demolition (completion timetable)
- Dock Construction (site plan & dock plan)
- Driveways/Walks (site plan & material)
- Handicap Access (site plan & description)
- Lighting (locations & cut sheets of fixtures)
- Paint (brand name, product #, & color)
- Patio (site plan & material information)
- Porch Enclosure (window details)
- Recreational Equipment (location & photo)
- Roofing (brand & color)
- Room Addition (site plan & elevations)
- Rot Repair (location & material information)
- Screened Porch (site plan & description)
- Siding (type & material, color)
- Swimming Pool (site plan, product, fencing)
- Window Replacement (window details)
- Other (describe below)

Description: SCREEN PORCH PER PLAN SUBMITTED

Estimated Cost of Project: \$ 28,600



Request for Exterior Alteration Proposed or Existing Dwelling, Appurtenant Structure, or Hardscape, page 2 of 2:

As the Property Owner of the above referenced Property, I hereby request that the SIPOA Architectural Review Staff review this application and any attached drawings for exterior alteration/improvement.

AUTHORIZATION TO ENTER PROPERTY: I/we hereby authorize ARC members and SIPOA and/or ARC agents and employees to enter upon the Property from time to time during the entire course of the Design Review Process.

DESIGNATION OF AGENT: I/we, the Owner(s) of the above referenced property, designate the following individual(s) to act for me/us during the Architectural Review Committee application and/or construction process.

Contractor/Agent Name: RON WELCH
Address: 1881-A ANDELL BLUFF BLVD
City/State: JULIAS ISLAND S.C. 29455
Telephone#: 843-847 1903 **Email:** RONWELCH@GMAIL.COM

Property Owner 9/1/20
Date

Property Owner's Contractor/Agent 9/1/20
Date

Review Fee: \$ 250 **Date:** 9/1/20 **Check #** 2447

Submitted By: Ron Welch

Katrina Bunnell 10/05/2020
Date
Approved by Architectural Review Administrator

Conditions: Per plan w/ finishes to match existing.

Deposit Required: \$ _____ **Date:** _____ **Check #** _____

Submitted By: _____ **SS#/Et#:** _____

NOTE: Approval by the Architectural Review Committee (ARC) certifies that the plan meets the ARC requirements regarding appearance and in no way certifies the quality, strength, accuracy, etc., of the building design. All improvements must also comply with the applicable version of the SIPOA ARC Policies and Procedures. Alterations to multi-family dwellings must be approved by the Property Manager prior to requesting ARC approval. Application must be made to the Town & Charleston County for any required permits prior to commencing construction or other activity. **The omission of any stipulation or requirement of the Policies and Procedures is not a waiver of said requirement.** This approval is valid for 6 months from date of ARC approval.



ATTACHMENT #17

Zoning Denial Letter
(10-13-2020)

Mayor
John W. Gregg

Town Council
Skip Crane
Jeri Finke
Pat Fox
Barry Goldstein

Town Administrator
Joseph M. Cronin



Town Clerk/Treasurer
Faye Allbritton

Licensing Specialist
Lynda Stearns

Admin. Assistant
Nichole Nettles

Municipal Judge
Dennis E. O'Neill

TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road • Seabrook Island, SC 29455
Phone: (843) 768-9121 • Email: info@townofseabrookisland.org

October 13, 2020

Ron Welch Contracting Inc.
1881-A Andell Bluff Boulevard
Seabrook Island, SC 29455

RE: 2730 Gnarled Pine

Dear Mr. Welch:

I have reviewed your zoning permit application, submitted on behalf of Robert and Cheryl Schuldt (owners), for construction of a screened porch at the rear of an existing residence located at 2730 Gnarled Pine (**Charleston County Tax ID 147-08-00-080**).

Your request for a zoning permit for the above referenced property has been **DENIED** for the following reasons:

- **The proposed addition will encroach approximately 5.4 feet into the required 25-foot rear yard setback.**
- **Note: The property survey incorrectly shows a 15-foot rear yard setback. The minimum rear yard setback requirement is 25 feet. On lots abutting open space (such as a golf course) open decks may be located 15 feet from the property line; however, all other structures must be set back at least 25 feet from the rear property line.**
- DSO Code References:
 - § 7.60.20.30. Single Family Setbacks (Rear). Twenty-five (25) feet.
 - § 7.60.60. Open Space Lots – Rear Setback. On lake, lagoon, or golf course lots the minimum rear lot setback of the residential structure must be twenty-five (25) feet. Open decks may extend into the setback, but may not be less than fifteen (15) feet from the rear lot line.

Right to Appeal

Any applicant who believes there has been an error in any order, requirement, decision, or determination by the Zoning Administrator in the enforcement of the DSO may submit a Notice of Appeal to the Board of Zoning Appeals, pursuant to § 19.40 of the DSO. Any such appeal must be initiated within 30 days from the date of this letter.

Variance Applications

Any applicant may submit a request for a variance from the requirements of the DSO by filing an Application for Variance to the Board of Zoning Appeals. In instances of unnecessary hardship, the Board of Zoning Appeals may authorize the granting of a variance from the requirements of the DSO upon finding that the request meets each of the following criteria:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography; and
- (b) Such conditions are peculiar to the particular piece of property involved and do not generally apply to other property in the vicinity; and
- (c) Because of these conditions, application of DSO on this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- (d) Relief, if granted, would not cause substantial detriment to adjacent property, the public good or impair the purpose and intent of the DSO or the comprehensive plan

If you or the property owners would like to initiate an appeal or variance request, please contact our office as soon as possible.

If you have any questions or comments about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Respectfully,



Joseph M. Cronin
Town Administrator / Zoning Administrator
Town of Seabrook Island



ATTACHMENT #18a

Letter from Jeffrey Noel
(01-08-2021)

Joe Cronin

From: no-reply@weebly.com
Sent: Friday, January 8, 2021 9:12 AM
To: Joe Cronin
Subject: New Form Entry: Public Comments - Variance #171

You've just received a new submission to your [Public Comments - Variance #171](#).

[Mark as Spam](#)

Submitted Information:

Name

Jeffrey Noel

Address

2740 Gnarled Pine

Email Address

crab3730@gmail.com

Do you support the approval of Variance #171

Yes - In Favor

Comment

Enjoy the screened in porch! Jeff and Kathy Noel



MEMORANDUM

TO: Town of Seabrook Island Board of Zoning Appeals Members
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Application # 172 – 3016 Seabrook Village Drive
MEETING DATE: January 21, 2021

Variance Application #166

Applicant:	M. Ashton Holloway (Owner)
Location:	3016 Seabrook Village Drive
Tax Map Number:	147-00-00-059
Zoning District:	MF Multi-Family Residential
Code Section(s):	§ 6.80 (Village at Seabrook PUD, amended by Ord. 2020-01) – 30-foot front yard setback required from both street frontages on corner lots
Purpose:	To reduce the required front yard setback on the secondary street frontage from 30 feet to twenty 20 feet to allow for construction of a detached single-family home

Overview

The Town has received a variance application from M. Ashton Holloway, the owner of Charleston County Tax Map # 147-00-00-059 (hereafter, the “Applicant”). The Applicant is requesting a reduction in the 30-foot secondary front yard setback requirement to allow for construction of a new detached single-family home located at 3016 Seabrook Village Drive (Block 58, Lot B-01). The property, which is currently vacant, was purchased by Mr. Holloway in October 2020.

The Planned Unit Development (PUD) Ordinance for the Village at Seabrook, which was last amended on February 25, 2020 (Ord. 2020-01), requires a minimum front yard setback of 30 from the front property line (20 feet for uncovered steps). Because this is a corner lot wherein one street is *not* a cul-de-sac, the 30-foot front yard setback would apply to both the Seabrook Village Drive (primary) and Seabrook Island Road (secondary) street frontages. At its closest point, the principal structure will be located approximately 23.5 feet from the front property line. The uncovered steps will be set back more than 20 feet from the street and, therefore, would not require a variance.

Code References:

- a. **§ 7.60.10.10. Corner Lots.** Where a lot abuts two intersecting streets (corner lot) both front setbacks shall be observed. In applying these measurements to a corner lot, the lot shall be deemed to have two (2) front yards and two (2) side yards.
- b. **§ 6.80.10. Governing Master Plan and Requirements.** The Village at Seabrook PUD (Application #1739 as amended) (Exhibit A) is hereby approved and adopted. The

approved amendments to the application which shall constitute the PUD for this property are shown on the map attached as Exhibit B and incorporated herein by reference. The Lake Entry Tract PUD is subject to all of the requirements of the Town Code and DSO; provided, however, all detached residential units within the Village at Seabrook shall be treated as “single-family detached residential units” and, therefore, shall not be subject to the architectural review requirements for multi-family development, as outlined in Section 14 of the DSO, as long as the architectural plans have been reviewed and approved by a duly constituted architectural review board prior to the issuance of a zoning permit by the town. In the event of conflict between this ordinance and the Town Code and/or DSO, the provisions of this ordinance shall prevail. The applicant further agrees that all roads within the PUD as well as the six-acre lake shall be deeded to the Seabrook Island Property Owner’s Association.

c. **Ord. 2020-01 – Exhibit B: Land Use Summary.**

Front Yard Setbacks: The minimum front yard setback shall be 30 feet from the street right-of-way; provided, however:

- o For corner lots wherein one street frontage is a cul-de-sac street, the minimum front yard setbacks shall be 30 feet from the cul-de-sac street right-of-way and 20 feet from the intersecting street right-of-way; and

Staff Note: Neither the DSO nor the Village PUD define the term “cul-de-sac.” A cul-de-sac is generally defined as a dead-end street with a vehicular turnaround. The American Planning Association’s “Planners Dictionary” includes the following examples:

Street, cul-de-sac (See also turning circle)

- *A street with a single common ingress and egress and with a turnaround at the end. (Henderson, Nevada)*
- *A local street having one end open to vehicular traffic and the other end permanently closed with a vehicular turnaround. (Tallmadge, Ohio)*
- *A local street of relatively short length with one end open to traffic and the other end permanently terminating in a vehicular turnaround. (Trenton Township, Ohio)*
- *A dead-end street providing at the closed end special enlarged turning and maneuvering space for vehicular traffic as specified in the engineering regulations. (Golden, Colorado)*
- *A street having one open end and being permanently terminated by a vehicle turnaround. (Mishawaka, Indiana)*

Under these definitions, none of the streets within the Village would be considered “true” cul-de-sac streets. However, previous

Zoning Administrators, as well as the original subdivision plat of the Village, identified lots A-01, A-06, A-07, A-14, A-15 and A-20 as corner lots on a cul-de-sac street. To date, only these lots have been eligible for a reduced setback from the secondary street frontage. All other corner lots within the Village (including the subject property) are considered to be located on non cul-de-sac streets and subject to a 30-foot front yard setback from both street frontages.

- Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way.

The property is currently zoned PUD/MF Multi-Family, and a single-family detached residence is a permitted use by-right.

In order to allow for construction of the proposed residence, the Applicant is requesting a variance from the following requirements of the DSO:

TYPE	REQUIRED PER DSO	VARIANCE (REQUESTED)
Front Yard Setback	30 feet (§ 6.80.10 & Ordinance 2020-01)	Reduce the front yard setback requirement along the secondary street frontage (Seabrook Island Road) from 30 feet to 20 feet (10-foot encroachment)

In his application, the Applicant stated that he is requesting relief from the secondary front yard setback requirement for the following reasons:

- a) Other corner lots on the same side of Seabrook Island Road can take advantage of a reduced 20-foot front yard setback along the secondary street frontage due to those lots being classified as fronting a “cul-de-sac” street;
- b) The Applicant contends that Seabrook Village Drive should be considered a cul-de-sac street because it is closed at one end and, therefore, a reduced 20-foot setback from the secondary street frontage should be allowed;
- c) The Applicant is attempting to maintain consistency with other corner lots on the same side of Seabrook Island Road; and
- d) Strict application of the 30-foot front yard setback requirement from the secondary street frontage will restrict the Applicant’s ability to construct a home of similar size and orientation as other homes on Seabrook Island Road.

Staff Comments

As a matter of practice, the town’s Zoning Administrator does not typically provide a recommendation in favor of, or in opposition to, a variance application. In our opinion, these

requests are best left to the Board of Zoning Appeals following a thorough review of the relevant facts, including the receipt of testimony from interested parties during the required public hearing.

In granting a variance, state law permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Should the Board vote to approve the variance request, staff would recommend in favor of attaching the following conditions:

- The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the Applicant and reviewed by the Board on January 21, 2021. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town's DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.
- The Applicant shall prepare and submit to the Zoning Administrator an as-built survey prior to the issuance of a Certificate of Occupancy (or within 30 days of passing the final inspection if no Certificate of Occupancy is required). The as-built survey shall be prepared and stamped by a professional land surveyor who is qualified to perform such services in the State of South Carolina.
- The variance shall expire on January 21, 2023 (two years from the date of approval) if the Applicant fail to obtain a building permit on or before that date.

Respectfully submitted,



Joseph M. Cronin

Town Administrator/Zoning Administrator

Criteria for Review

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these **conditions do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance **will not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Attachments

The following supplemental items have been attached for review:

Application & Property Information		
1	Variance Application	p. 76-80
2	Existing Conditions	p. 81-82
3	Site Plan & Architectural Drawings	p. 83-92
4	Subdivision Plat (2001)	p. 93-94
5	Property Photos	p. 95-103
6	Zoning Map	p. 104-105
7	Aerial Image	p. 106-107
8	FEMA Base Flood Elevation	p. 108-109
9	Title to Real Estate	p. 110-115
10	Property Information Card	p. 116-119
11	Public Hearing Notice – Letter to Neighboring Property Owners	p. 120-122
12	Public Hearing Notice – List of Neighboring Property Owners	p. 123-124
13	Public Hearing Notice – U.S.P.S. Certified Mail Receipts	p. 125-126
14	Public Hearing Notice – Post and Courier Legal Ad	p. 127-128
15	Public Hearing Notice – Property Posting	p. 129-130
Other Information		
16	Ordinance 2020-01: Village PUD Amendment (02-25-2020)	p. 131-139
17	Village at Seabrook Corner Lots	p. 140-161
Written Correspondence Regarding the Proposed Variance Request		
18	None Received	---



ATTACHMENT #1

Variance Application



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
 Seabrook Island, SC 29455
 (843) 768-9121

APPLICATION FOR VARIANCE

Board of Zoning Appeals

Any applicant seeking a variance from the zoning requirements of the Town of Seabrook Island’s Development Standards Ordinance (hereafter, the “DSO”) must submit a written application, along with a \$150.00 application fee and all required supplemental information. Applications must be typed or written legibly in ink. Please attach an additional sheet of paper if more space is needed. If you need assistance filling out this application form, please contact the Zoning Administrator by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

1. PROPERTY INFORMATION

Please provide information regarding the property which is subject to the variance request.

Property Address	3016 Seabrook Village Drive			
Tax Map Number	1470000059	Block	Lot	B1
Lot Size (Square Feet)	0.15			
Is this property subject to an OCRM critical line? (eg. Marsh or Beachfront Lots)		Yes	<input checked="" type="checkbox"/>	No
Is this property subject to private restrictions or covenants? (eg. SIPOA or regime)	<input checked="" type="checkbox"/>	Yes		No

2. APPLICANT(S)

Please provide information regarding the individual(s) who is (are) submitting the variance request.

Applicant Name(s)	M. Ashton Holloway
Applicant Address	101 High Hammock Village, Seabrook Island, SC 29455
Applicant Phone Number	912 531 6355
Applicant Email Address	ashtonholloway@hotmail.com
If the Applicant is <u>NOT</u> an owner of the property, what is the relationship to the Property Owner(s)?	

3. PROPERTY OWNER(S)

If the Applicant(s) is (are) NOT the property owner(s), please provide information for the property owner(s).

Owner Name(s)	
Owner Mailing Address	
Owner Phone Number	
Owner Email Address	
Designation of Agent (Required if the Applicant(s) is(are) NOT a Property Owner): I (we) hereby designate and appoint the above named Applicant(s) as my (our) agent(s) to represent me (us) in this application.	
Owner Signature(s)	Date
	Date

4. CERTIFICATION

Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge.

Applicant Signature(s)		Date	12/15/20
		Date	

OFFICE USE ONLY		
Date Filed:	Variance Application #:	Hearing Date:

5. VARIANCE REQUEST

A. Please provide a brief description of the proposed scope of work:

Construction on a corner lot of the Village at Seabrook.
Determination of the corner cul-de-sac, secondary front yard set back (20 feet)
Continuance of the community character along the cul-de-sac road.

B. In order to complete the proposed scope of work, the Applicant(s) is (are) requesting a variance from the following requirement(s) of the town's DSO:

1) DSO Section Reference(s): 6.80 Ordinance #2020-01

2) DSO Requirement(s): Secondary Front yard set back for corner lot of cul-de-sac

C. The application of the zoning requirements of the town's DSO will result in unnecessary hardship, and the standards for a variance set by State Law and the DSO are met by the following facts:

1) There are extraordinary and exceptional conditions pertaining to this particular piece of property as follows:

The lot has been mis-classified as a corner lot, and not a cul-de-sac corner lot. Seeking to correct the classification, via the definition of a cul-de-sac. With the 30 foot Secondary front yard set back, the lot is limited on its ability to contribute community character by the mis-classified cul-de-sac lot.

2) These conditions do not generally apply to other property in the vicinity as shown by:

Other lots that are determined a cul-de-sac along Seabrook Island Road, have a 20 foot secondary front yard setback. Lot B1 meets the qualifications of a cul-de-sac lot, more so than the other lots along Seabrook Island Road. The definition of a Cul-de-sac: "a street, lane, etc., closed at one end" , " The turnaround area at the end of a dead-end street or an egress."

3) Because of these conditions, the application of the zoning requirements to this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows:

We are attempting to keep the same consistency of the character and frontage of the cul-de-sac corner lots. An inability to address both primary and secondary street frontage at this lot to allow for porches and character along the Seabrook Island Road frontage.

4) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons:

We are seeking to properly define lot B1 as a cul-de-sac corner lot, by definition a cul-de-sac is a road closed at one end, and the turn around at the end of a dead end road. Seabrook Village drive fits this definition, more so than the "cul-de-sacs" along seabrook island road. It is a road that only has one access. The mis-classified 30 foot secondary setback does not allow for community character within the design, and allowable setbacks of the lot.

6. APPLICATION MATERIALS

In addition to the completed Variance Application Form, all requests for variance must be accompanied by the supplemental materials listed below. An application is not considered “complete” until all required documentation has been received by the Zoning Administrator. Below is a checklist of the required materials:

- Completed & Signed Variance Application Form (Paper Required; PDF Optional)**
 - Please submit one *completed* paper application. All signatures must be original.
- \$150.00 Application Fee**
 - The application fee may be paid by cash or check only.
- As-Built Survey / Survey of Existing Conditions (Paper Required; PDF Optional)**
 - All applications must be accompanied by an as-built survey which accurately illustrates the existing conditions on the property, including setback measurements for all structures.
- Proposed Site Plan (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications which will change the footprint of one or more existing structures.
 - For lots abutting a marsh or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.
- Scaled Architectural Drawings: (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications to existing structures.
 - Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side and rear elevations, as appropriate.
- Letter of Approval from Property Owners Association and/or Regime: (Paper Required; PDF Optional)**
 - Required for all properties which are subject to private restrictions and/or covenants.
 - If approval is pending, please attach a Letter of Acknowledgement from the POA and/or Regime.
- Letters of support, petitions, photographs, and any other documentation which an Applicant feels may support his or her request may be attached but are not required. (Paper & Digital Files Optional)**

CRITERIA FOR REVIEW

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in **unnecessary hardship**. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these conditions **do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance will **not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.



12.15.20

RE: 3016 Seabrook Village Drive

Board of Zoning Appeals,

I am seeking to find a variance of the hardship placed upon Lot B1 in the Village at Seabrook. In an effort to remain consistent with the previously set requirements, lot B1 has a secondary side setback (Seabrook Island Road frontage) that does not conform to the benefit of the character of the community.

Cul-de-sac is defined as a road with a dead end, Seabrook Village Drive fits this definition. It has one access, which has a dead end. It is more so a cul-de-sac, than the (2) small "diversions" in the village that are classified as Seabrook Island Road, with a Seabrook Island Road address, which is not a dead end street.

Having Lot B1 as a cul-de-sac corner lot, there is more of a hardship placed on this lot with the current secondary 30' (Seabrook island road frontage). We are attempting to keep the character of the village, with street facing porches at a corner lot, as to keep the porch scale and feel, vs a solid wall with windows, and no porch to soften the hard corner edge lot.

The other cul-de-sac lots on the corners are granted the 20' secondary setback, and trying to keep consistent with the development, we are seeking to have the same standards applied to Lot B1.

Thank you for your time in consideration of the correction of the classification of a cul-de-sac within the Village development.

Sincerely,

Ashton Holloway

A handwritten signature in blue ink, appearing to read 'Ashton Holloway', written over a large, stylized blue scribble.



ATTACHMENT #2

Existing Conditions

REFERENCE:
 PLAT BY: G ROBERT GEORGE
 DATED: NOVEMBER 13, 2001
 BOOK: EF PAGES: 245-246
 RMC CHAS. CO.

TAX MAP No. 147-00-00-059
 No. SEABROOK VILLAGE DRIVE

LOT AREA:
 6,362.0 Sq. Feet
 0.15 Acres

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	505.00'	54.06'	54.03'	N 52°43'29" W	0°07'59"
C2	25.00'	38.72'	34.96'	S 11°00'58" E	88°43'46"
C3	275.00'	55.24'	55.15'	S 38°52'07" W	11°30'33"

NOTES:
 BEARING SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.

AREA DETERMINED BY COORDINATE METHOD.

ELEVATIONS ARE BASED ON NGVD '29 DATUM.

THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.

THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARIED BY THE SEABROOK ISLAND ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACK GUIDELINES AND/OR TO EXPAND THE "BUILDABLE" AREA.

THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.

NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT, THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS CONTAMINATION OR OTHER NONVISIBLE CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE AE (EL 12') AS PER FEMA FLOOD MAPS. PANEL No. 45019C 0785J. DATED: NOVEMBER 17, 2004. COMMUNITY No. 450256

* SETBACKS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION BY CONTROLLING AUTHORITY.

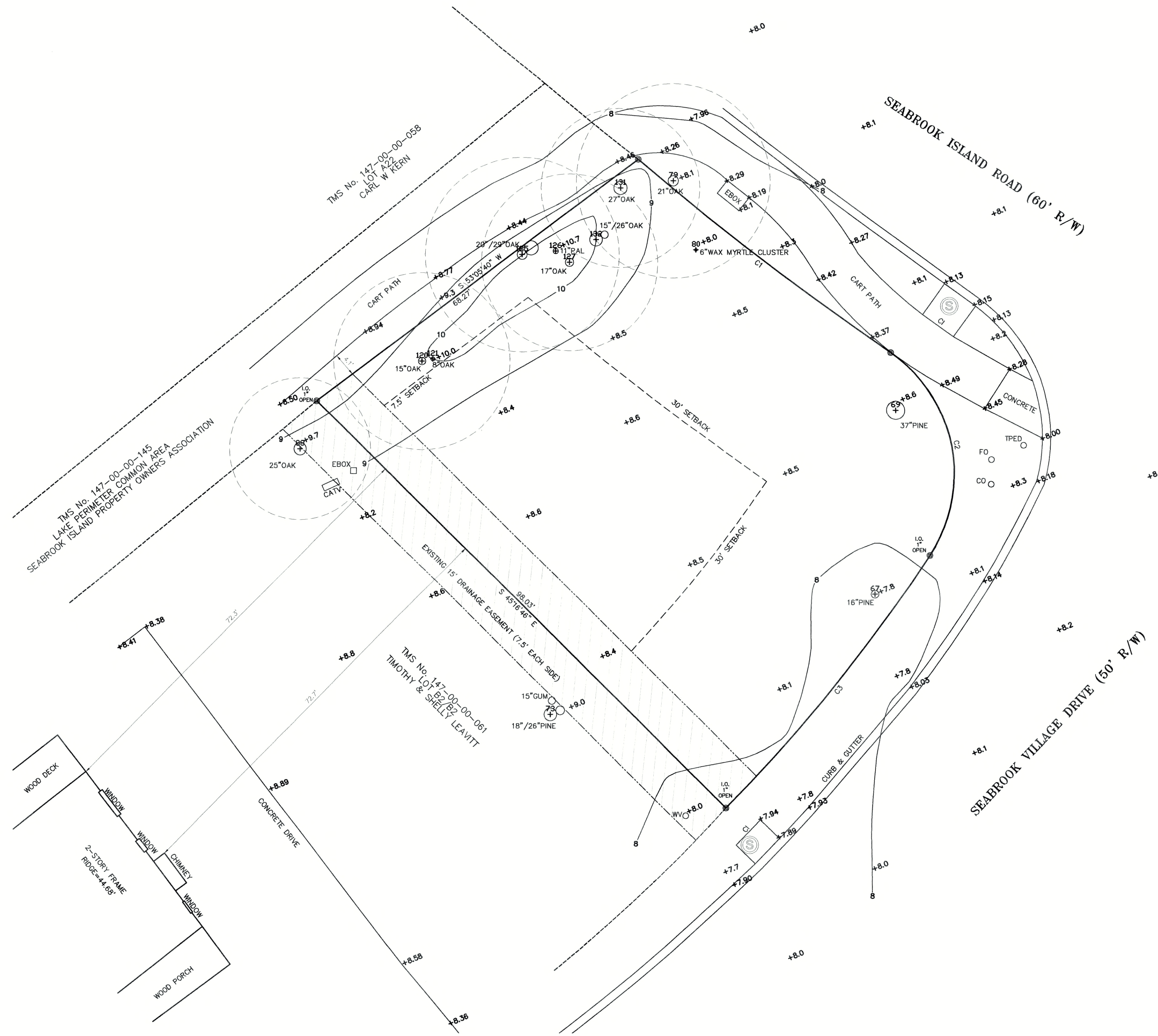
SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Cipes A survey as specified therein. Also there are no visible encroachments or projections other than shown.

KEVIN M. SCHWACKE, SR. PLS
 S.C. Registration Number 20468



CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUCCESSOR OWNERS. THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HEREON. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH. KIM19 / 19259



- LEGEND:**
- I.O. IRON OLD (FOUND)
 - CATV CABLE & TV BOX
 - CI CURB INLET
 - CO CLEAN OUT
 - EBOX ELECTRIC BOX
 - FO FIBER OPTICS
 - TPED TELEPHONE PEDESTAL
 - WM WATER METER
 - 15"OAK 15" (DBH) OAK TREE
 - +10.0 SPOT ELEVATION (NGVD '29)
 - TREE CANOPY

TREE & TOPOGRAPHIC SURVEY
 LOT B1
 THE VILLAGE AT SEABROOK
 TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA



DATE: OCTOBER 1, 2019 SCALE: 1" = 10'
 REVISED: NOVEMBER 25, 2020 (SETBACK)





ATTACHMENT #3

Site Plan & Architectural Drawings

REFERENCE:
 PLAT BY C. ROBERT GEORGE
 DATED: NOVEMBER 13, 2001
 BOOK: 19 PAGES: 245-246
 REC: CHAS CO.
 TAX MAP No. 147-00-00-059
 NA: SEABROOK VILLAGE DRIVE.

LOT AREA:
 6,362.0 Sq. Feet
 0.16 Acres

BEARING	DISTANCE	ANG. DIST.	CHORD BEARING	CHORD DIST.	DELTA ANGLE
15° 28' 00" N	10.00	15° 28' 00"	10.00	10.00	0° 00' 00"
15° 28' 00" N	10.00	15° 28' 00"	10.00	10.00	0° 00' 00"
15° 28' 00" N	10.00	15° 28' 00"	10.00	10.00	0° 00' 00"

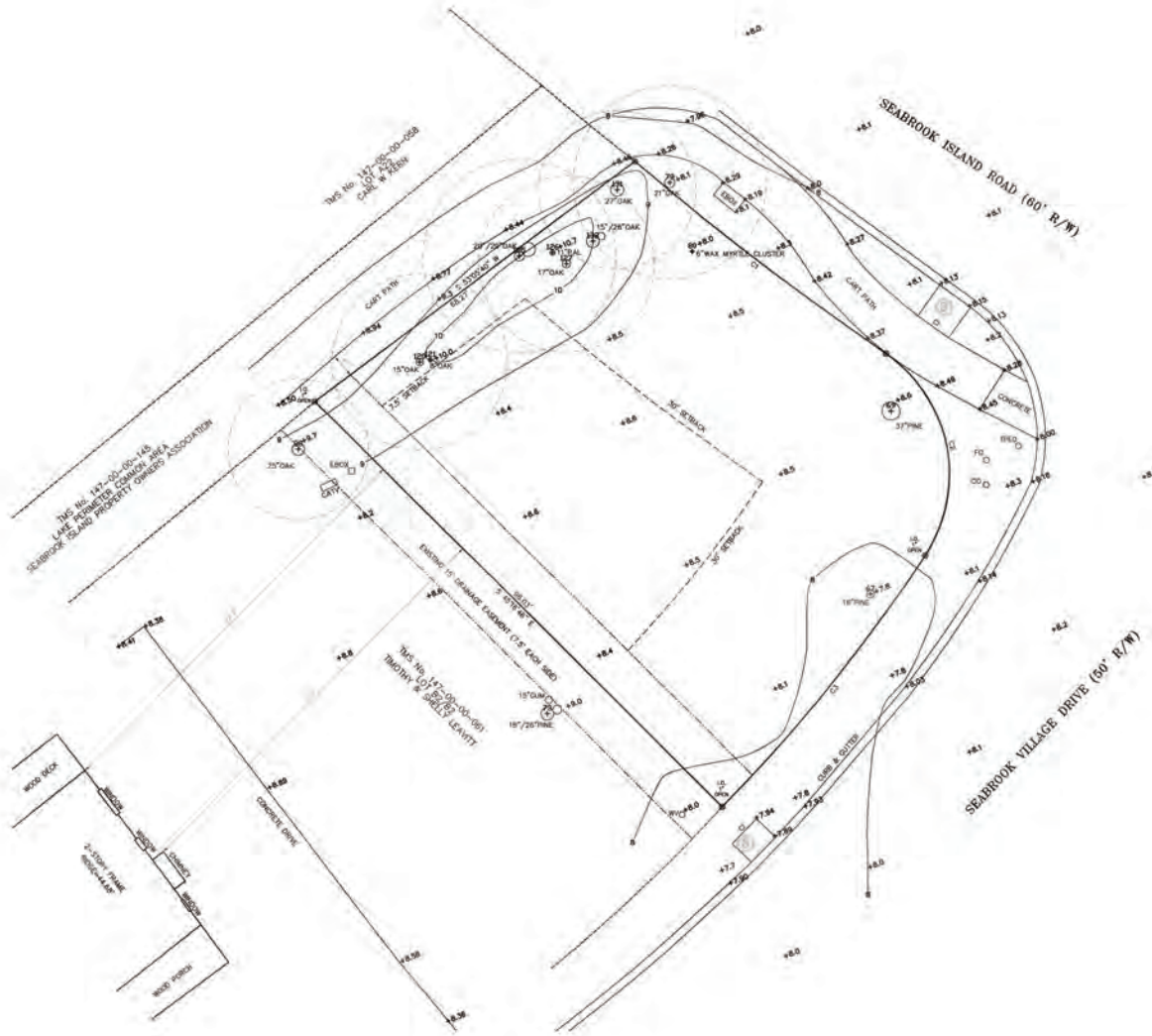
NOTES:
 SETBACKS SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.
 AREA DETERMINED BY COORDINATE METHOD.
 ELEVATIONS ARE BASED ON NVD '29 DATUM.
 THE PUBLIC RECORDS REFERENCED ON THE PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
 THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARIED BY THE SEABROOK ISLAND ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACKS, DISTANCES AND/OR TO EXPAND THE "RELEASABLE" AREA.
 THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.
 NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION OR OTHER NONVISIBLE CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE AE (1) (2) AS PER FEMA FLOOD MAPS, PANEL 843 5002E DATED: NOVEMBER 17, 2004. COMMUNITY NO. 450254.
 * SETBACKS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION BY CONSULTING ARCHITECT.

SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein. Also there are no visible encroachments or easements other than shown.



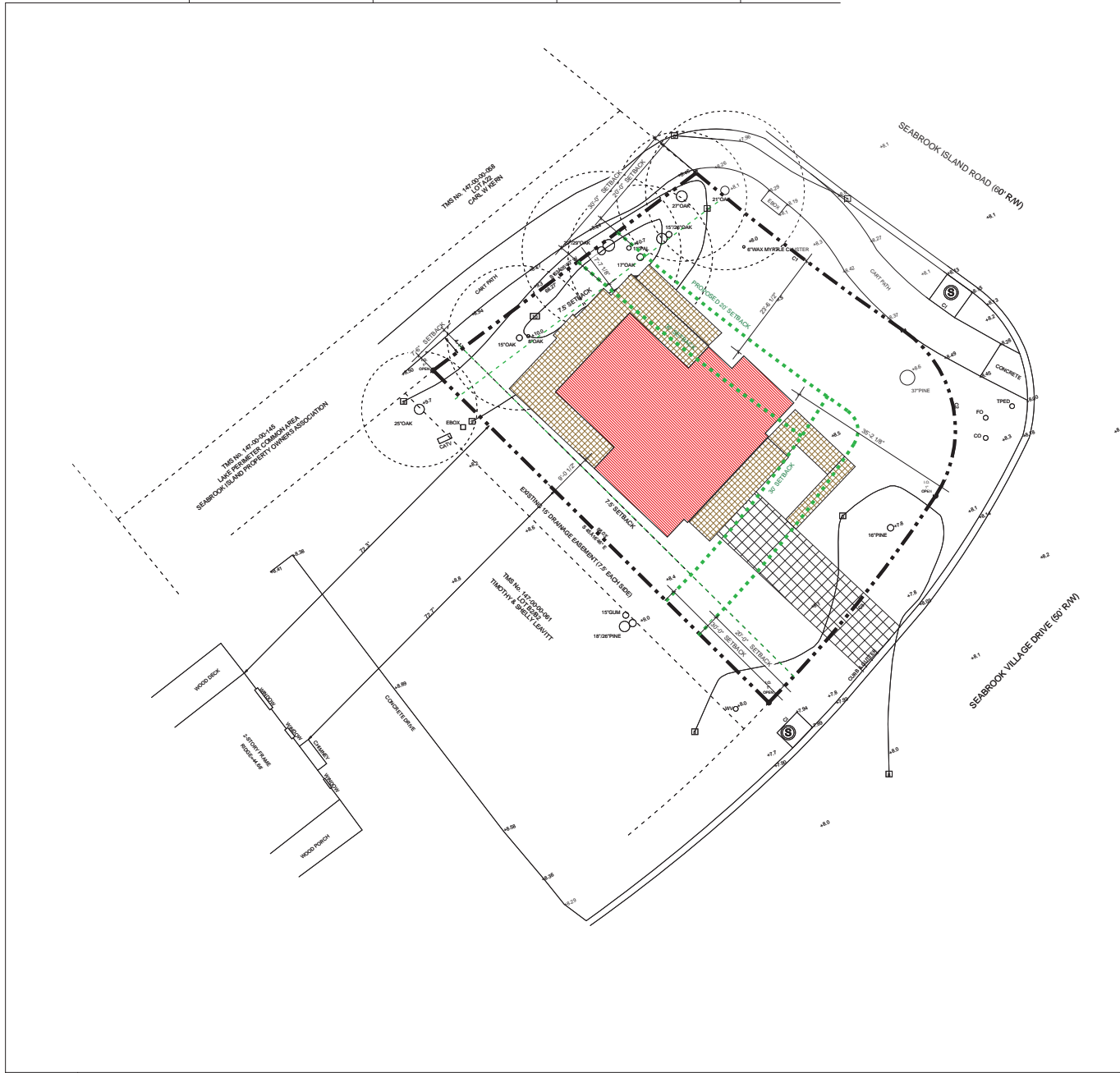
KEVIN M. SCHWACKE, SR., PLS.
 S.C. Registered Professional Surveyor
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HEREON. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 08/19 / 2020



- LEGEND:**
- 1/4" 80% OAK (YOUNG)
 - 2 1/4" 1" 80% CABLE & TV BOX
 - 3" 1" 80% CURE NUT
 - 4" 1" 80% CURE NUT
 - 5" 1" 80% ELECTRIC BOX
 - 6" 1" 80% FRESH SPRING
 - 7" 1" 80% TELEPHONE PEDESTAL
 - 8" 1" 80% WATER METERS
 - 9" 1" 80% 15" OAK
 - 10" 1" 80% 14" OAK
 - 11" 1" 80% 14" OAK
 - 12" 1" 80% 14" OAK
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 - 96" 1" 80% 14" OAK
 - 97" 1" 80% 14" OAK
 - 98" 1" 80% 14" OAK
 - 99" 1" 80% 14" OAK
 - 100" 1" 80% 14" OAK

TREE & TOPOGRAPHIC SURVEY
 LOT B1
 THE VILLAGE AT SEABROOK
 TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE: OCTOBER 1, 2019 SCALE: 1" = 10'
 REVISED: NOVEMBER 25, 2020 (SETBACK)



GENERAL NOTES

A. Lot information: T.M.S. #147-03-00-029
FLOOD ZONE: AE (SL 12'-0")

B. All dimensions to face of block or stud unless noted otherwise.

SETBACKS & RESTRICTIONS

FRONT: 30' from property boundary
 REAR: 25' from property boundary
 SIDES: 7.5' from property boundary, 15' between houses
 CORM CRITICAL LINE: 12' buffer, 50' building setback
 HEIGHT RESTRICTION: 35' from Base Flood Elevation (B.F.E.)

AREA CALCULATIONS (PROPOSED)

LOT COVERAGE:
 Minimum Lot Coverage of Structure: (25%)
 Maximum Lot Coverage of Hardscape: (10%)

LOT AREA: 6,362.0 SF
 TOTAL BLDG. FOOTPRINT: 1,580 SF

TOTAL LOT COVERAGE OF STRUCTURE:
 1,580 / 6,362.0 = 24.8%

IMPERVIOUS PAVING (DRIVEWAY): 305 SF
 PERVIOUS PAVING / DECKING: 295 SF
 WALKWAY: 40 SF

TOTAL LOT COVERAGE OF HARDSCAPE:
 637 / 6,362.0 = 9.9%

MARK	DESCRIPTION	DATE
◇	PERMIT SET	7.24.2020

ISSUE: **DESIGN DEVELOPMENT**

SEALS:

evan 538 King Street
Charleston, SC 29403
PO Box 429
Charleston, SC 29402

hoertdoerfer tel: 843 724 6002
www.hoertdoerferarchitects.com
rchitects

PROJECT

SEABROOK

3120 SEABROOK VILLAGE DRIVE
SEABROOK ISLAND, SOUTH CAROLINA

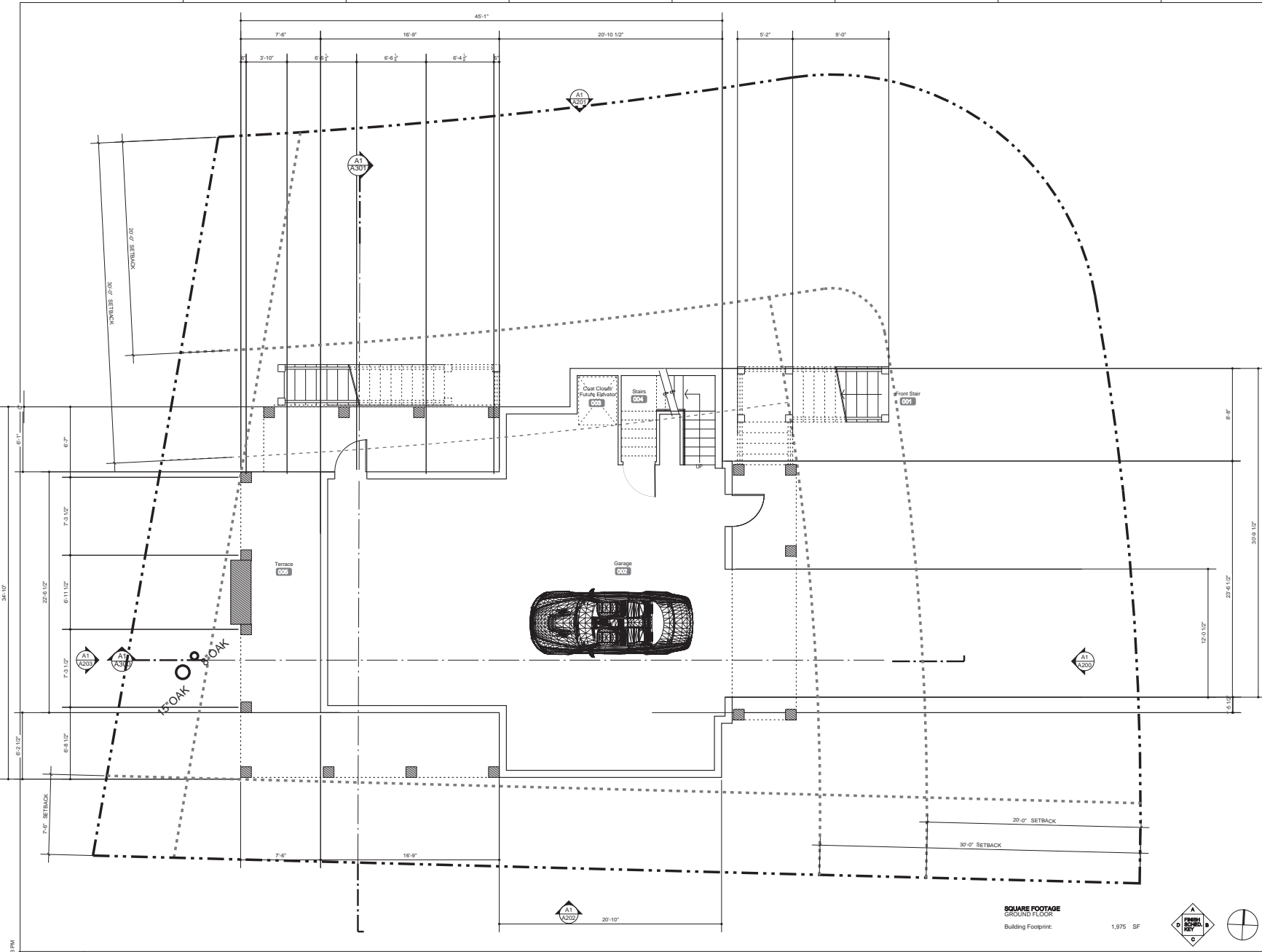
2020.7.24 KHJ 1004

A003

SITE PLAN - LOT B1

A1 SITE PLAN
SCALE: 1" = 10'-0"

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- GENERAL NOTES**
- A. All dimensions to face of cmu and stud unless noted otherwise.
 - B. In framing floors, do not place structural members underneath toilet flanges or shower and tub drains. If in doubt, field verify locations with architect.
 - C. Locate doors in center of wall unless noted otherwise.
- PLAN NOTES**
- 1. Contractor to coordinate fire place clean out with foundation.
 - 2. Foundation vents as required per code. contractor to submit proposed location to architect for approval.

MARK	DESCRIPTION	DATE
◇	PERMIT SET	7.24.2020

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SEABROOK ISLAND, SOUTH CAROLINA

2020.7.24 KHH 1004

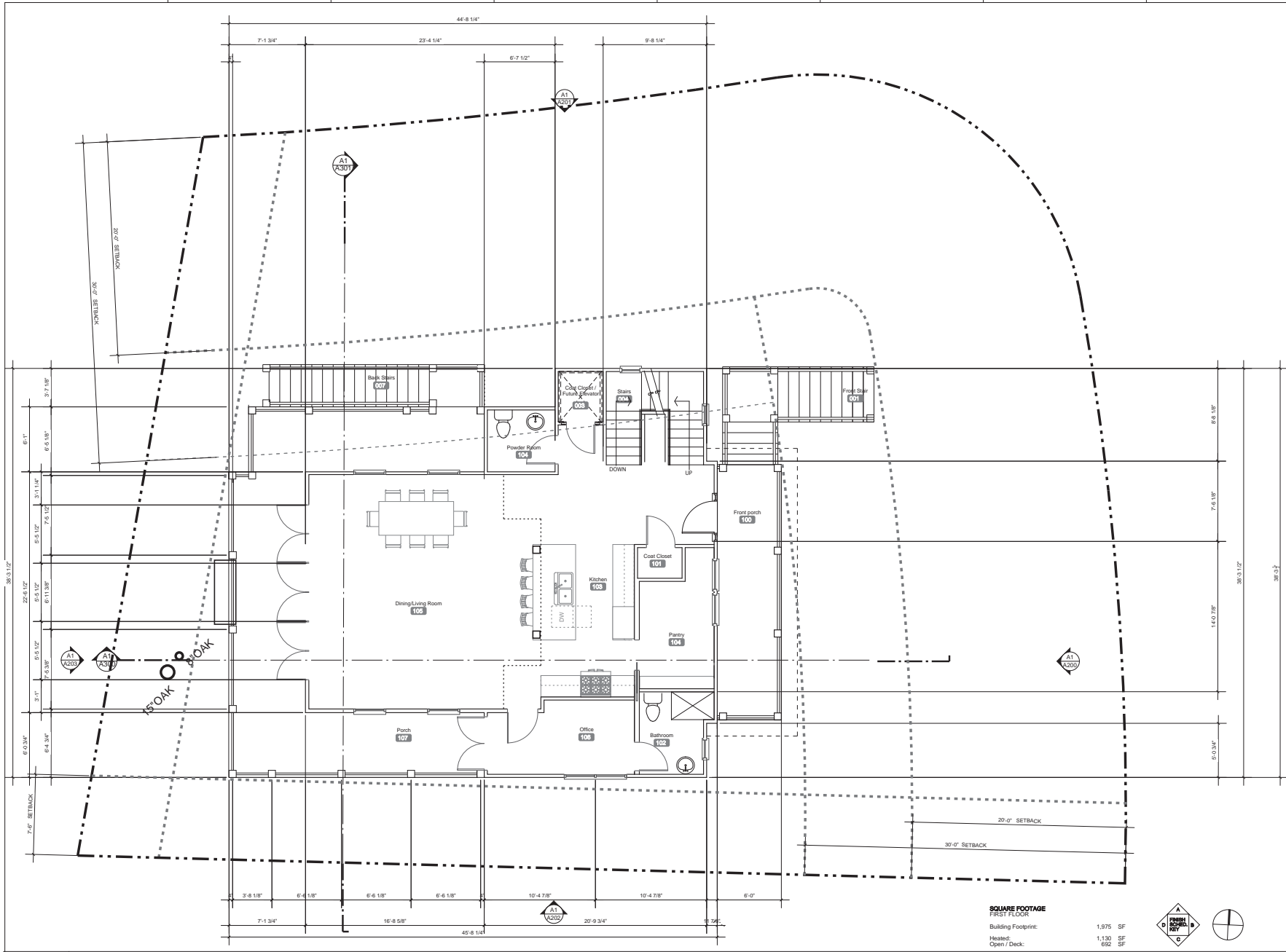
A100

GROUND FLOOR PLAN

A1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE
GROUND FLOOR
Building Footprint: 1,975 SF





A1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE
FIRST FLOOR

Building Footprint:	1,975 SF
Heated:	1,130 SF
Open Deck:	692 SF



- GENERAL NOTES**
- All dimensions to face of cmu and stud unless noted otherwise.
 - In framing floors, do not place structural members underneath toilet flanges or shower and tub drains. If in doubt, field verify locations with architect.
 - Locate doors in center of wall unless noted otherwise.
- PLAN NOTES**
- Contractor to coordinate fire place clean out with foundation.
 - Foundation vents as required per code. contractor to submit proposed location to architect for approval.

MARK	DESCRIPTION	DATE
	PERMIT SET	7.24.2020

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PROJECT

SEABROOK

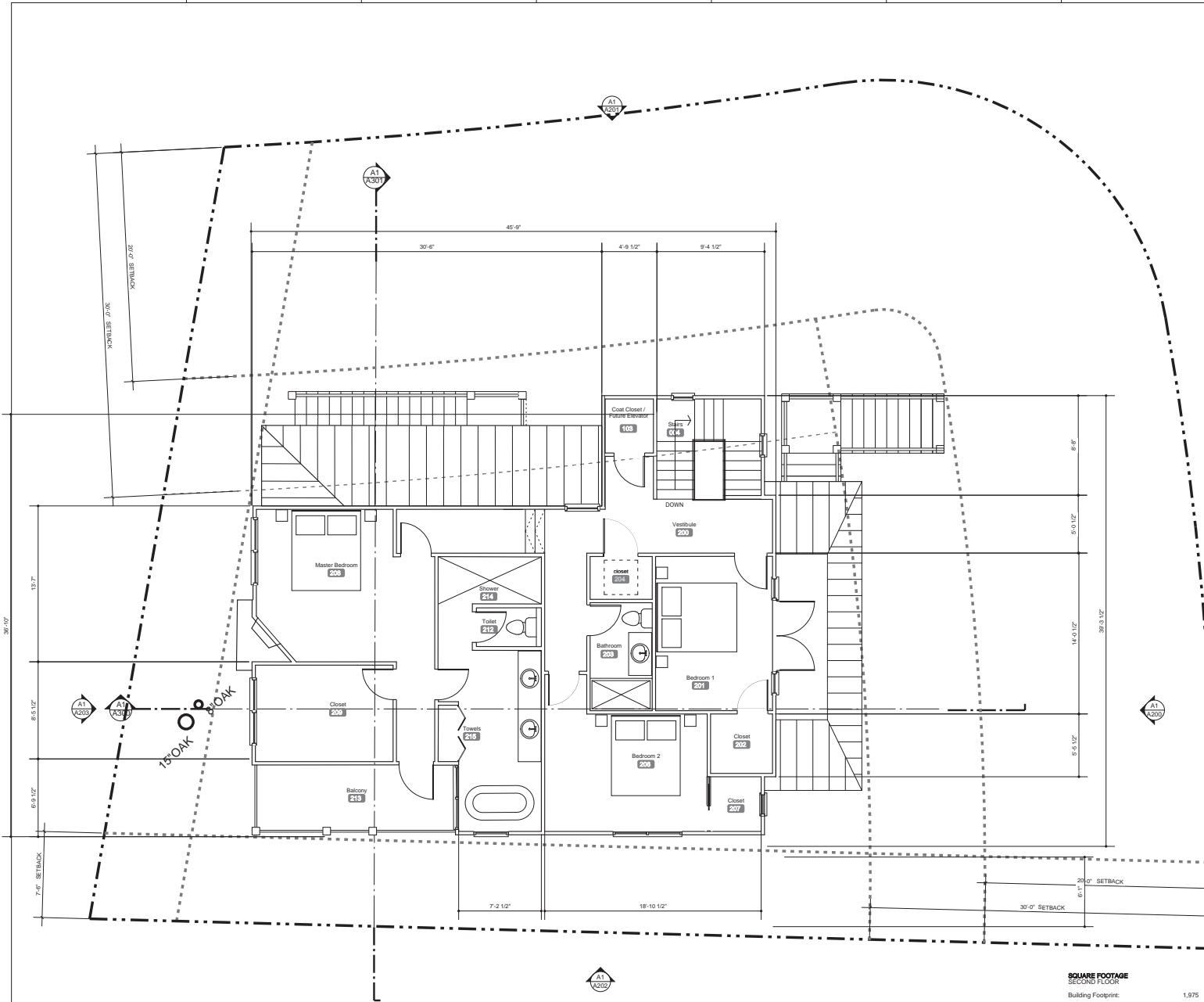
3120 SEABROOK VILLAGE DRIVE
SEABROOK ISLAND, SOUTH CAROLINA

2020.7.24 KHJ 1004

A101

7/24/20, 2:55 PM

CUTLINE



GENERAL NOTES

A. All dimensions to face of cmu and stud unless noted otherwise.

B. In framing floors, do not place structural members underneath toilet flanges or shower and tub drains. If in doubt, verify locations with architect.

C. Locate doors in center of wall unless noted otherwise.

PLAN NOTES

1. Contractor to coordinate fire place clean out with foundation.

2. Foundation vents as required per code. contractor to submit proposed location to architect for approval.

MARK	DESCRIPTION	DATE
◆	PERMIT SET	7.24.2020

ISSUE

DESIGN DEVELOPMENT

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SEABROOK ISLAND, SOUTH CAROLINA

2020.7.24 KHH 1004

A102

SQUARE FOOTAGE
SECOND FLOOR

Building Footprint:	1,975 SF
Heated:	1,381 SF
Open Deck:	183 SF



A1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

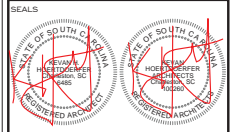
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CUTLINE

GENERAL NOTES

MARK	DESCRIPTION	DATE
◇	PERMIT SET	7.24.2020

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SEABROOK
3120 SEABROOK VILLAGE DRIVE
SEABROOK ISLAND, SOUTH CAROLINA

2020.7.24 KHH 1/004

A200
BUILDING ELEVATIONS - PROPOSED



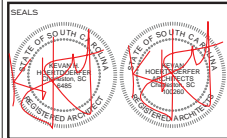
A1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

7/24/20 2:55 PM

GENERAL NOTES

MARK	DESCRIPTION	DATE
◇	CITY OF CHARLESTON PERMIT SET ZONING DEPARTMENT	5.24.2020
◇	PRELIMINARY PRICING	10.23.15
◇	PERMIT SET	11.19.15
◇	BUILDING DEPARTMENT REVISION	1.5.16
◇	CITY OF CHARLESTON ZONING DEPARTMENT	4.9.18

ISSUE DESIGN DEVELOPMENT



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3120 SEABROOK VILLAGE DRIVE
 SEABROOK ISLAND, SOUTH CAROLINA

2020.7.24 KHH 1004

A201

BUILDING ELEVATIONS - PROPOSED



A1 NORTH ELEVATION - PROPOSED
 SCALE: 1/4" = 1'-0"

7/26/20, 2:55 PM

CUTLINE

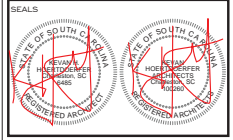
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GENERAL NOTES

MARK	DESCRIPTION	DATE
◇	PERMIT SET	7.24.2020

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SEABROOK
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SEABROOK ISLAND, SOUTH CAROLINA

2020.7.24 KHH 1/004

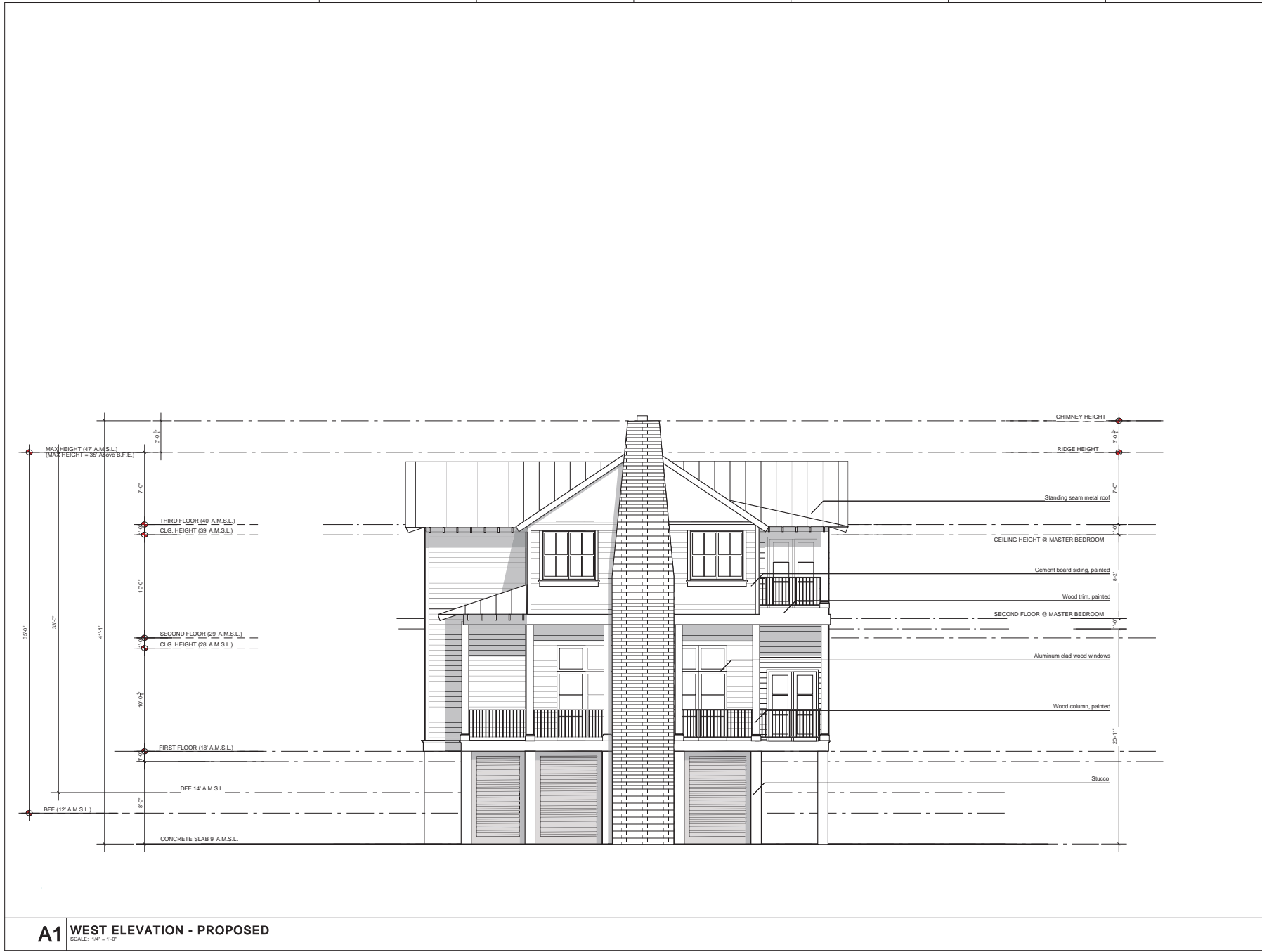
A202
BUILDING ELEVATIONS - PROPOSED

A1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

7/24/20, 2:55 PM

CUTLINE

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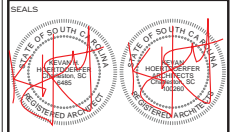


A1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

GENERAL NOTES

MARK	DESCRIPTION	DATE
◇	PERMIT SET	7.24.2020

ISSUE: **DESIGN DEVELOPMENT**



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2020.7.24 KHH 1004

A203

BUILDING ELEVATIONS - PROPOSED

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ATTACHMENT #4

Subdivision Plat (2001)

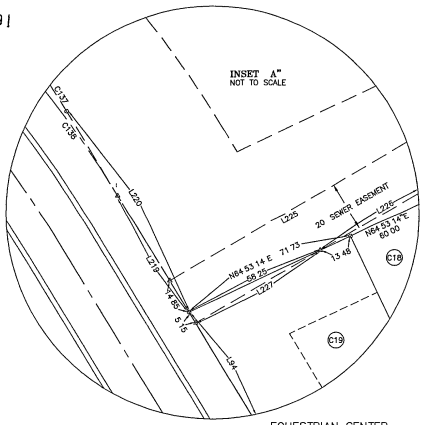
REFERENCES

1. PLAT SHOWING SUBDIVISION OF A 16,424 ACRE TRACT OWNED BY SEABROOK ISLAND DEVELOPMENT GROUP BY DANIEL C. FORSBERG DATED APRIL 8, 1987 RECORDED IN PLAT BOOK 8N PAGE 35
2. PLAT OF A 56,150 ACRE TRACT AND A 1,452 ACRE BUFFER ZONE OWNED BY SEABROOK ISLAND COMPANY BY JOSHUA M. WILLIAMS III DATED AUGUST 21, 1988 RECORDED IN PLAT BOOK 8N PAGE 52
3. FRESHWATER WETLAND CERTIFICATION N/R SAC-81-92-0049 DATED JANUARY 7, 1993 BY THE REGULATORY BRANCH OF THE U.S. ARMY CORPS OF ENGINEERS AND ENGINEERS SURVEY PLAT DATED SEPTEMBER 30, 1992 AND REVISED OCTOBER 6, 1992 ENTITLED "ALDAMAS LAND TITLE SURVEY SHOWING 45,414 ACRES BY ENGINEERING SURVEYING AND PLANNING INC."
4. PRELIMINARY LOT LAYOUT & EXISTING WETLANDS THE ROOKERY AT SEABROOK ISLAND DATED JANUARY 27, 1995 BY A.H. SCHWABKE & ASSOCIATES INC. DRAWING IS UNRECORDED
5. PLAT SHOWING THE RESUBDIVISION OF A 56,150 ACRE TRACT LOCATED IN THE TOWN OF SEABROOK ISLAND DATED MARCH 29, 1995 BY G. ROBERT GEORGE & ASSOCIATES INC. RECORDED ON SEPTEMBER 17, 1996 IN THE RMC OFFICE OF CHARLESTON COUNTY IN PLAT BOOK 8B AT PAGE 327
6. CHARLESTON COUNTY TAX MAP 147-00-00
7. PRELIMINARY PLAT SHOWING THE SUBDIVISION OF THE VILLAGE AT SEABROOK CONTAINING 42,328 ACRES TRACT LOCATED IN THE TOWN OF SEABROOK ISLAND DATED MAY 25, 2000 BY G. ROBERT GEORGE & ASSOCIATES INC. RECORDED ON IN THE RMC OFFICE OF CHARLESTON COUNTY IN PLAT BOOK 12, PAGE 41

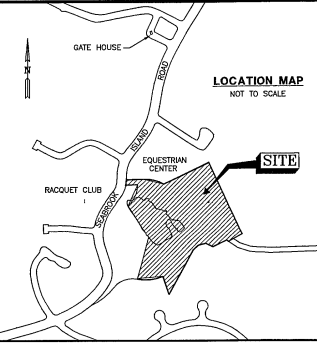
LEGEND

- PROPERTY LINE AND IRON PIN SET
- PROPERTY LINE PIN NOT SET DUE TO SEWER CO
- TRVERSE POINT ON FLOW
- ADJACENT RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- - - NEW DRAINAGE EASEMENT LINE
- - - JURISDICTIONAL FRESHWATER WETLANDS
- - - APPROXIMATE FLOOD ZONE BOUNDARY
- - - LAGOON PERIMETER COMMON AREA

08 L 391PG591



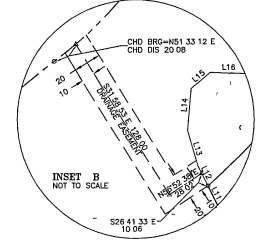
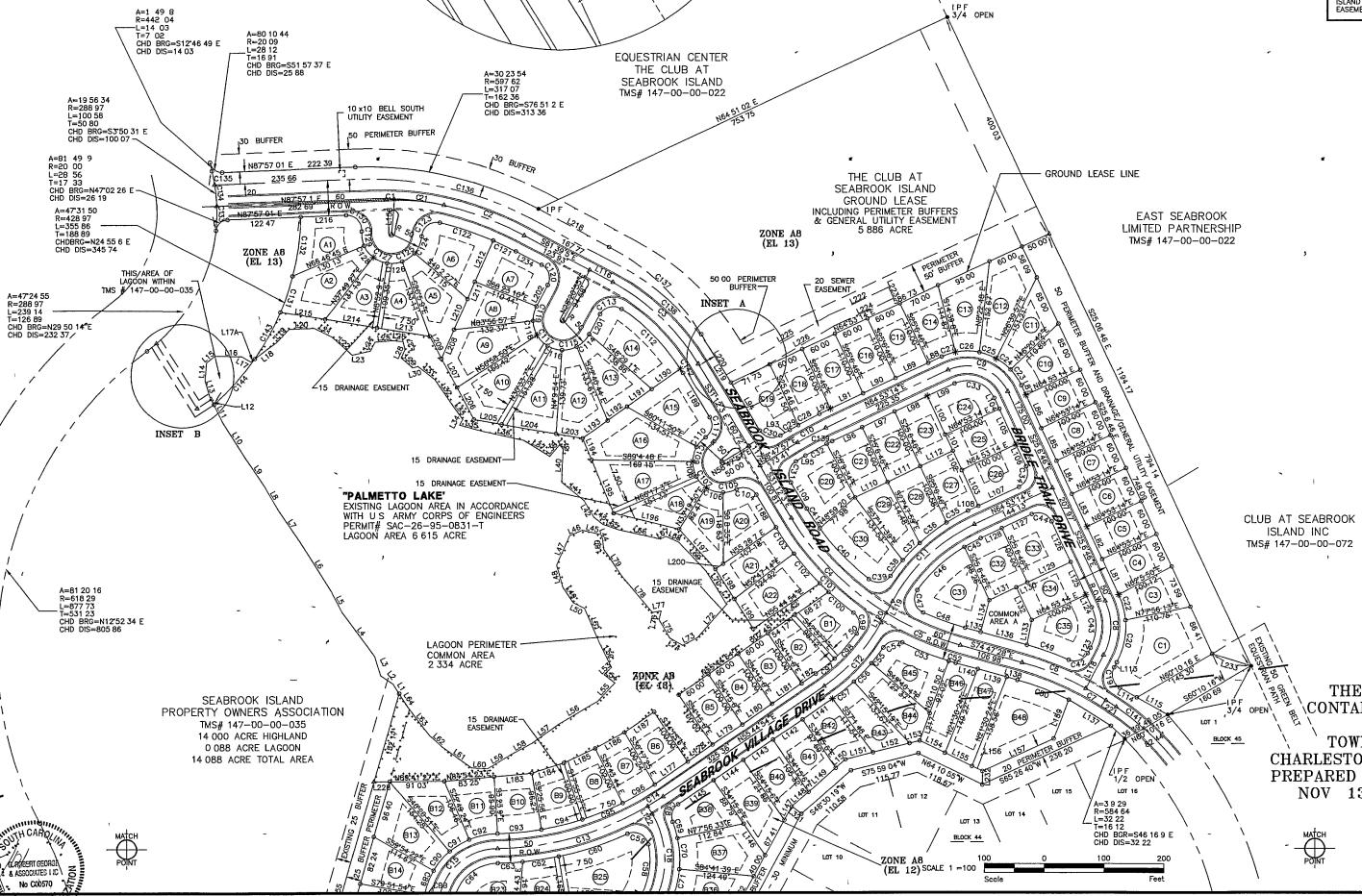
Charleston, South Carolina
Office of Register Meane Conveyance
Plat recorded this 13 day of December, 2001 at 1:51 o'clock in Plat Book 12, Page 42, and tracing cloth copy filed in File 2, Drawer, Folder 55, Drawing No. 38. Original plat (0.32 White Print) delivered to Top of Seabrook Island. Sheet 1 of 2
Chad T. Goff
Register Meane Conveyance



NOTICE
THE APPROVAL OF THIS PLAT IN NO WAY GUARANTEES THE TOWN OF SEABROOK ISLAND TO ACCEPT FOR CONTINUED MAINTENANCE ANY OF THE ROADS OR EASEMENTS SHOWN HEREON.

LAND USE SUMMARY

TMS#	147-00-00-008
GROUND LEASE AREA	5 886 ACRE
TOTAL PERIMETER BUFFER AREA	2 680 ACRE
COMMON AREA	0 122 ACRE
TOTAL RESIDENTIAL	18 234 ACRE
ROADWAY RIGHT-OF-WAY AREA	4 657 ACRE
LAGOON PERIMETER COMMON AREA	2 334 ACRE
LAGOON AREA	6 615 ACRE
TOTAL AREA (INCLUDING LAGOON)	42 328 ACRE
PROPOSED LAND USE:	DETACHED MULTIFAMILY * RESIDENTIAL
MINIMUM LOT SIZE:	6 000 S F
MAXIMUM LOT COVERAGE:	40%
SETBACK:	30 FRONT 15 SIDE (TO TOTAL 15) 5 REAR
LOT REQUIRING ZERO LOTLINE SETBACK:	A1 A6 A14 B38 C19 & C26



FLOOD ZONE DATA
THIS PROPERTY IS IN FLOOD ZONES AB (ELEV 13) AND AB (ELEV 12) AS INDICATED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 455413 0440 H FOR UNINCORPORATED AREAS OF CHARLESTON COUNTY SOUTH CAROLINA BEARING THE EFFECTIVE DATE OF SEPTEMBER 2, 1993. ZONE LIMITS ARE ESTABLISHED BY GAINING INTERSECTION FROM 500 FLOOD INSURANCE RATE MAP AND WERE NOT LOCATED BY FIELD SURVEY OR COORDINATE GEOMETRY.

I DO HEREBY CERTIFY THAT THE METHOD OF AREA DETERMINATION HAS BEEN COMPLETED USING THE PRINCIPLES OF COORDINATE GEOMETRY.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN ALSO THAT THERE ARE NO VISIBLE ENCUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.

SURVEY PRECISION IS IN EXCESS OF 1/10,000

G. ROBERT GEORGE & ASSOCIATES INC.
2411 SUMNER HWY. CHARLESTON S.C. 29414
No. 6517



TOWN OF SEABROOK ISLAND
DATE 12/13/2001
APPROVED BY *Debra M. Smith*

ZONING ADMINISTRATOR
TOWN OF SEABROOK ISLAND
TMS# 147-00-00-072

PLAT SHOWING THE SUBDIVISION OF THE VILLAGE AT SEABROOK CONTAINING 42,328 ACRE TRACT LOCATED IN THE TOWN OF SEABROOK ISLAND CHARLESTON COUNTY, SOUTH CAROLINA PREPARED FOR SEABROOK ISLAND I, LLC NOV 13, 2001 SCALE 1"=100' SHEET 1 OF 2

G. ROBERT GEORGE AND ASSOCIATES INC.
CONSULTING ENGINEERS LANDSCAPE ARCHITECTS PLANNERS AND LAND SURVEYORS
P.O. BOX 38158 (803) 556-4501
CHARLESTON SOUTH CAROLINA 29417-2158

JOB NO 1171-41 THL DRAWING 1171-4F-PLAT DWG



ATTACHMENT #5

Property Photos



















ATTACHMENT #6

Zoning Map





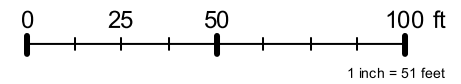
ATTACHMENT #7

Aerial Image



3016 Seabrook Village Drive

Parcel ID: 1470000059 ISLAND
OWNER1: HOLLOWAY MORRIS
ASHTON
PLAT BOOK PAGE: EF-245
DEED BOOK PAGE: 0924-277
Jurisdiction: TOWN OF SEABROOK



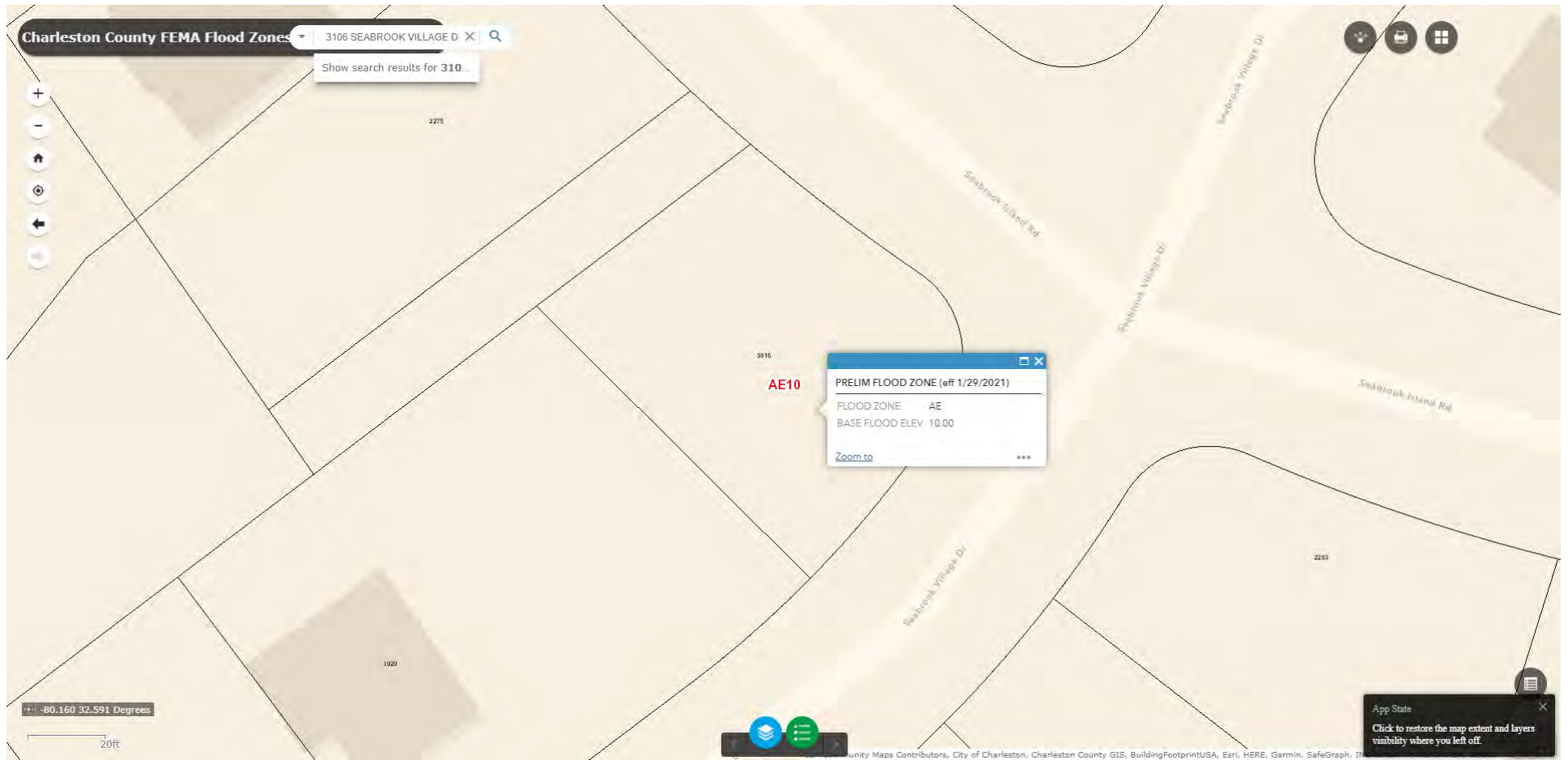
Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.

Author: Charleston County SC
Date: 1/12/2021



ATTACHMENT #8

FEMA Base Flood Elevation





ATTACHMENT #9

Title to Real Estate



BP0924277

PGS:

5

STATE OF SOUTH CAROLINA)
)
COUNTY OF CHARLESTON)

GENERAL WARRANTY DEED

KNOW ALL BY THESE PRESENTS THAT, HAROLD T. SEABROOK, hereinafter referred to as the "Grantor", in the State aforesaid, in consideration of the sum of Thirty Two Thousand Five Hundred Dollars and no/100 (\$32,500.00), to Grantor well and truly paid by MORRIS ASHTON HOLLOWAY, hereinafter referred as "Grantee", at and before the sealing and delivery hereof, the receipt of which is hereby acknowledged, have granted, bargained, sold and released, and by these presents do grant, bargain, sell and release unto the said Grantee, all of their interest in and to the following:

DESCRIPTION: For a legal description of the premises being conveyed herein, see Exhibit A, attached hereto and incorporated herein by reference.

ASSESSOR'S TAX MAP REFERENCE: 147-00-00-059

THIS CONVEYANCE IS MADE SUBJECT TO: All conditions, covenants, easements, restrictions and rights-of-way indicated by instruments, including plats, of record, and to all applicable zoning or other land use regulations or restrictions of any political subdivision in which the subject property is situate.

GRANTEE'S MAILING ADDRESS: For the purposes of this instrument, the Grantee's mailing address is:

101 High Hammock Village, Seabrook Island, SC 29455

TOGETHER WITH all and singular, the rights, members, hereditaments, and appurtenances to the said premises belonging or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all singular the premises before mentioned unto Grantee, Grantee's successors, heirs and/or assigns forever.

AND Grantor does hereby bind Grantor's and Grantor's successors, heirs and/or assigns to warrant and forever defend all and singular the said premises unto the said Grantee, Grantee's

successors, heirs and/or assigns, against Grantor and Grantor's successors, heirs and/or assigns and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS the Grantor's hand and seal this October 6th, in the year of our Lord two thousand twenty, and in the two hundred forty-fourth year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED, AND DELIVERED IN THE PRESENCE OF:

GRANTOR:

[Signature]
WITNESS

[Signature]
HAROLD T. SEABROOK

[Signature]
WITNESS/NOTARY

STATE OF SOUTH CAROLINA)
COUNTY OF CHARLESTON)

ACKNOWLEDGEMENT

I, a Notary Public for the State of South Carolina, do hereby certify that the above-named Grantor/s, personally appeared before me this October 6, 2020 and acknowledged the due execution of the foregoing instrument.

SWORN to before me this 6/6/20, 2020.

[Signature]
Notary Public for the State of South Carolina
My Commission Expires: 4/18/2023

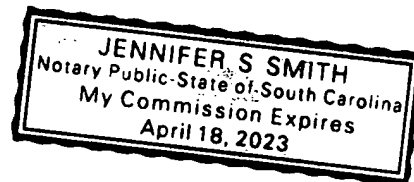


EXHIBIT A

ALL that certain piece, parcel or lot of land, situate, lying and being in the Town of Seabrook Island, Charleston County, South Carolina, known and designated as Lot B-1 as shown on the plat entitled, "PLAT SHOWING THE SUBDIVISION OF THE VILLAGE AT SEABROOK, CONTAINING 42,328 ACRE TRACT, LOCATED IN THE TOWN OF SEABROOK ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA, PREPARED FOR SEABROOK ISLAND, I, LLC," made by G. Robert George and Associates, Inc., dated November 13, 2001, and recorded on December 19, 2011 in Plat Book EF at Page 245 and 246 in the RMC Office for Charleston County, which said plat is incorporated herein by reference thereto. Said lots have such size, shape, dimensions, buttings and boundings as will by reference to said plat more fully and at large appear.

SUBJECT TO all matters of public record.

BEING the same property conveyed to Harold T. Seabrook by Deed of William L. Watkins, III, July 25, 2018 and recorded on August 2, 2018 in the Charleston County Register of Deeds, Charleston County, South Carolina in Deed Book 0737, Page 745.

TMS 147-00-00-059

STATE OF SOUTH CAROLINA)
COUNTY OF CHARLESTON)

AFFIDAVIT

Date of Transfer: October 6, 2020

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this Affidavit and I understand such information.
2. The property is being conveyed by Harold T. Seabrook to Morris Ashton Holloway by Deed dated October 6, 2020.
3. Check one of the following: **The deed is:**
 - (a) subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) _____ subject to the deed recording fee as a transfer between a corporation, a partnership or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as a distribution to a trust beneficiary.
 - (c) _____ EXEMPT from the deed recording fee because Exemption # _____ (Explanation, if required If exempt, please skip items 4-6 and go to Item #7 of this affidavit.)
4. Check one of the following if either item 3(a) or item 3(b) above has been checked.
 - (a) fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$32,500.00
 - (b) _____ The fee is computed on the fair market value of the realty, which is _____ 0.00 _____.
 - (c) _____ The fee is computed on the fair market value of the realty as established for property tax purposes which is _____ 0.00 _____.
5. Check YES _____ or NO to the following: A lien or encumbrance existed on the land, tenement or realty before the transfer and remained on the land, tenement or realty after the transfer. If "YES", the amount of the outstanding balance of this lien or encumbrance is _____ 0.00 _____.
6. The DEED Recording Fee is computed as follows:
 - (a) \$ 32,500.00 _____ the amount listed in Item #4 above
 - (b) \$0.00 _____ the amount listed on Item #5 above (no amount, please zero)
 - (c) \$ 32,500.00 _____ subtract Line 6(b) from Line 6(a) and place the result here.
7. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as Grantor.
8. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year or both.

SWORN to before me this
October 6, 2020.

Notary Public for
My Commission expires: 4/18/2023

SIGNATURE

Print name:



RECORDER'S PAGE



NOTE: This page **MUST** remain with the original document

Filed By:

JENNIFER S SMITH
260 W COLEMAN BLVD
STE B
MT PLEASANT SC 29464

RECORDED		
Date:	October 12, 2020	
Time:	11:26:32 AM	
<u>Book</u>	<u>Page</u>	<u>DocType</u>
0924	277	Deed
Michael Miller, Register Charleston County, SC		

MAKER:

SEABROOK HAROLD T

Note:

RECIPIENT:

HOLLOWAY MORRIS A

of Pages:

Recording Fee	\$	15.00
State Fee	\$	84.50
County Fee	\$	35.75
Extra Pages	\$	-
Postage	\$	-
Chattel	\$	-
TOTAL	\$	135.25

Original Book:

Original Page:

DRAWER
CLERK

AUDITOR STAMP HERE
RECEIVED From ROD
Oct 15, 2020
Peter J. Tecklenburg
Charleston County Auditor

PID VERIFIED BY ASSESSOR
RJB
REP _____
10/16/2020
DATE _____
4



0924
Book



277
Page



10/12/2020
Recorded Date



5
Pgs



Original Book



Original Page



D
Doc Type



11:26:32
Recorded Time



ATTACHMENT #10

Property Information Card



- WELCOME
- REAL PROPERTY RECORD SEARCH
- REAL PROPERTY BILL SEARCH
- PERSONAL PROPERTY SEARCH
- MOTOR VEHICLE SEARCH
- CHECKOUT
- CONTACT US

\$0.00
CHECK OUT

- [← RETURN](#)
- [🔄 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)

Property Information

<p>Current Owner: HOLLOWAY MORRIS ASHTON 101 HIGH HAMMOCK VILLAGE SEABROOK ISLAND SC 29455</p>	<p>Property ID Physical Address Property Class Plat Book/Page Neighborhood Deed Acres</p>	<p>1470000059 3016 SEABROOK VILLAGE DR 905 - VAC-RES-LOT / 111413 AD13 The Village at Seabrook 0.1500</p>
---	---	---

Legal Description

Subdivision Name -THE VILLAGE AT SEABROOK Description -LOT B1
PlatSuffix EF-245 PolTwp 009

Sales History

Book	Page	Date	Grantor	Grantee	Type	Deed	Deed Price
0924	277	10/6/2020	SEABROOK HAROLD T	HOLLOWAY MORRIS ASHTON	S	Ge	\$32,500
0737	745	7/27/2018	WATKINS WILLIAM L III	SEABROOK HAROLD T	S	Ge	\$40,000
0624	793	3/17/2017	LEWIS STEVEN G	WATKINS WILLIAM L III	S	Ge	\$29,000
0205	760	9/2/2011	WILKES RONALD W	LEWIS STEVEN G	S	Ge	\$60,000
0115	900	4/5/2010	FIRST CITIZENS BANK AND	WILKES RONALD W		Ge	\$60,000
0045	099	3/31/2009	DUFFY JOHN L	FIRST CITIZENS BANK AND		Ge	\$120,000
W565	631	12/12/2005	SEABROOK ISLAND I LLC	DUFFY JOHN L		Ge	\$135,000
F279	061	1/24/1997	NOT SUPPLIED	SEABROOK ISLAND I LLC		Ge	\$0
EE	42	1/1/1900		NOT SUPPLIED		Ma	\$0

- [← RETURN](#)
- [🔄 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)

PIN: 1470000059

This data is as-of 12-17-2020



The information on this page is for Tax Year 2020 and reflects the status of the property for that tax year. This includes building information, values and information on exemptions, discounts and special assessments. Any changes for Tax Year 2021 will not be displayed until later in 2021.

Value Info

Legal Residence	LR Pct	AgUse	ATI 25Pct Exemption	Assessed Value
N	0	N	N	\$2,400
		Land	Improvement	Total
Market Value		\$40,000	\$0	\$40,000
Capped Value *		\$40,000	\$0	\$40,000
Taxable/Use Value **		\$40,000	\$0	\$40,000

Value History

	2019	2018	2017	2016
Market Value	\$40,000	\$40,000	\$59,200	\$59,200
Capped Value *	\$40,000	\$40,000	\$59,200	\$59,200
Taxable/Use Value **	\$40,000	\$40,000	\$59,200	\$59,200
Assessed Value	\$2,400	\$2,400	\$3,550	\$3,550

* **Capped Value:** At County-wide reassessments the increase in the value of a property for tax purposes is limited (capped) at no more than 15%.

** **Taxable/Use Value:** The Capped Value and Taxable/Use Value are usually the same. If the property has been approved for Agricultural Use the values will be different.

Dwelling Info

No data available

Additional Improvements

No data available

Sketches

No sketches available

Municipalities

[City of Charleston](#)
[City of Folly Beach](#)
[City of North Charleston](#)
[City of Isle of Palms](#)
[Town of Awendaw](#)
[Town of Hollywood](#)
[Town of James Island](#)
[Town of Kiawah Island](#)
[Town of McClellanville](#)
[Town of Meggett](#)
[Town of Mount Pleasant](#)
[Town of Ravenel](#)
[Town of Rockville](#)
[Town of Seabrook Island](#)
[Town of Sullivan's Island](#)

Additional Resources

Arts & Entertainment CARTA Transit System County Library County Parks Transportation Sales Tax School District Charleston Community Guide	Sex Offenders Search Identity Theft Info Traffic Cam Make-A-Wish Car Donation United Way 24hr hotline Visitor Information
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Social Media



Site Translation

Select Language

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E-mail your comments or questions about this site to publicinfo@charlestoncounty.org
 Report technical problems with this site to webmaster@charlestoncounty.org

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ATTACHMENT #11

Public Hearing Notice:
Letter to Neighboring Property Owners



PUBLIC HEARING NOTICE

TO: Neighboring Property Owners
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Request for 3016 Seabrook Village Drive (Variance #172)
DATE: December 18, 2020

Dear Property Owner,

The purpose of this letter is to notify you that the owner of **3016 SEABROOK VILLAGE DRIVE** has requested a **VARIANCE** from the zoning requirements of the Town's Development Standards Ordinance (DSO). The purpose of the variance request is **TO REDUCE THE REQUIRED FRONT YARD SETBACK ON THE SECONDARY STREET FRONTAGE (SEABROOK ISLAND ROAD SIDE) FROM 30 FEET TO TWENTY 20 FEET TO ALLOW FOR CONSTRUCTION OF A DETACHED SINGLE-FAMILY HOME**. A copy of the variance application is enclosed for your information.

The Town's Board of Zoning Appeals has scheduled a **VIRTUAL PUBLIC HEARING**, during which time the Board will receive testimony from any individual who wishes to provide a comment regarding the variance request. This notification is being provided to you pursuant to Section § 19.30.20.30 of the DSO.

PUBLIC HEARING DATE: Thu. January 21, 2021
PUBLIC HEARING TIME: 2:30 PM
PUBLIC HEARING LOCATION: Virtual Meeting via Zoom

Participate in the Virtual Public Hearing: Individuals who wish to participate in the Virtual Public Hearing via Zoom may access the meeting as follows:

- **To join by computer, tablet or mobile device:**
<https://us02web.zoom.us/j/89400634207?pwd=bDVXY0JBbm15dmRQajhSVk94bFBtZz09>
- **To join by phone:** Call (646) 558-8656 **Please note that long distance rates may apply**
- **Meeting ID:** 894 0063 4207 **Passcode:** 888171

Submit a Written Comment: Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:

- **ONLINE:** www.townofseabrookisland.org/variance-172.html
- **EMAIL:** jcronin@townofseabrookisland.org
- **MAIL:** Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

The meeting will be live streamed on the town's YouTube channel beginning at 2:30 PM at the following address: <https://www.youtube.com/channel/UCIkF87knEApHD1q0kGlaGZg>

If you have any questions about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Cronin". The signature is written in a cursive style with a large initial "J" and a long, sweeping underline.

Joseph M. Cronin

Town Administrator/Zoning Administrator



ATTACHMENT #12

Public Hearing Notice:
List of Neighboring Property Owners

Variance Notification List
3016 Seabrook Village Drive

Property Address	Owner(s) of Record	Mailing Address	City	State	Zip
3020 Seabrook Village Drive	Steffen Fry & Rebecca Post	3361 Rittenhouse Street	Washington	DC	20015
3024 Seabrook Village Drive	Ramon & Nancy Sanchez	3024 Seabrook Village Drive	Seabrook Island	SC	29455
3009 Seabrook Village Drive	Timothy & Maria Tenero	31 Devine Road	Suffield	CT	6078
3013 Seabrook Village Drive	Thomas & Carol Kilianski	10433 Stream Park Court	Dayton	OH	45458
2283 Seabrook Island Road	Sea of Love LLC	156 Greycliff Drive	Mooreville	NC	28117
2287 Seabrook Island Road	Terri Wyatt	2307 Iris Lane	New Market	TN	37820
2275 Seabrook Island Road	Carl & Donna Kern	2275 Seabrook Island Road	Seabrook Island	SC	29455
2271 Seabrook Island Road	Howard Mintz Rev Trust / Stephanie Mintz Rev Trust	2271 Seabrook Island Road	Seabrook Island	SC	29455
3014 Seabrook Village Drive	Wade & Karen Ballard	201 Muirfield Drive	Spartanburg	SC	29306
3012 Seabrook Village Drive	Gerald & Jacqueline Singer	3012 Seabrook Village Drive	Seabrook Island	SC	29455
3017 Seabrook Village Drive	Elizabeth Bayer Rev Trust / Douglas Bayer Rev Trust	7912 Jansen Drive	Springfield	VA	22152
3007 Seabrook Village Drive	Lilly Family 2016 Trust / Christine Flaiz	3007 Seabrook Village Drive	Seabrook Island	SC	29455
Property Owners Association	Seabrook Island Property Owners Association	1202 Landfall Way	Seabrook Island	SC	29455
Regime	Village at Seabrook Property Owners Association	3690 Bohicket Road, Ste 1-A	Johns Island	SC	29455





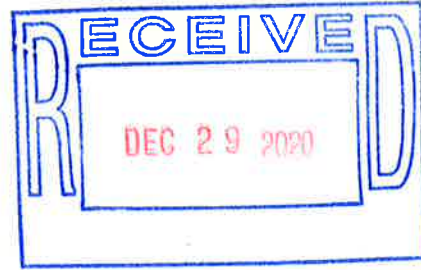
ATTACHMENT #13

Public Hearing Notice:
U.S.P.S. Certified Mail Receipts



ATTACHMENT #14

Public Hearing Notice:
Post & Courier Legal Ad



TOWN OF SEABROOK ISLAND
2001 SEABROOK ISLAND RD
JOHNS ISLAND SC 29455
Attn: Faye Allbritton

AFFIDAVIT OF PUBLICATION

The Post and Courier

State of South Carolina
County of Charleston

Personally appeared before me the undersigned advertising clerk of the above indicated newspaper published in the city of Charleston, county and state aforesaid, who, being duly sworn, says that the advertisement of

(copy attached)

appeared in the issues of said newspaper on the following day(s):

12/21/20 Mon PC
12/21/20 Mon CNW

at a cost of **\$240.62**
Account# **108294**
Order# **1913776**
P.O. Number:

Subscribed and sworn to before me this 22nd day of December A.D. 2020

[Signature]
advertising clerk



[Signature]
NOTARY PUBLIC, SC
My commission expires

TOWN OF SEABROOK ISLAND, SC NOTICE OF PUBLIC HEARING

The Town of Seabrook Island Board of Zoning Appeals will conduct a Virtual Public Hearing at 2:30 pm on January 21, 2021. During the meeting, the Board will consider the following requests for variance from the Development Standards Ordinance for the Town of Seabrook Island:

APPLICATION # 171
APPLICANT: Robert & Cheryl Schudi (Owners), Ron Welch (Applicant)
LOCATION: 2730 Gnarled Pine
TAX MAP #: 147-08-00-080
ZONING DISTRICT: SR Single-Family Residential
CODE SECTION: 7.60.20.30 / 7.60.60 25-foot rear yard setback required for residential structures
VARIANCE(S) REQUESTED: To reduce the required rear yard setback from 25 feet to approximately 19.5 feet to allow for construction of a screened porch addition

APPLICATION # 172
APPLICANT: Ashton Holloway (Owner)
LOCATION: 3016 Seabrook Village Drive
TAX MAP #: 147-00-00-059
ZONING DISTRICT: MF Multi-Family Residential
CODE SECTION: 6.80 (Village at Seabrook PUD, as amended by Ord. 2020-01)
30-foot front yard setback required from both street frontages on corner lots
VARIANCE(S) REQUESTED: To reduce the required front yard setback on the secondary street frontage from 30 feet to twenty 20 feet to allow for construction of a detached single-family home

Documents relating to the variance requests may be viewed on the town's website at www.townofseabrookisland.org.
Participate in the Virtual Public Hearing: Individuals who wish to participate in the Virtual Public Hearing via Zoom may access the meeting as follows:
• **To join by computer, tablet or mobile device:** <https://us02web.zoom.us/j/89400634207?pwd=bDVXY0JBbml1SdmRQalhSVk94bFBIz09>
• **To join by phone:** Call (646) 558-8659. Please note that long distance rates may apply.
• **Meeting ID:** 894 0063 4207
Passcode: 888171
Submit a Written Comment: Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:
ONLINE: <https://www.townofseabrookisland.org>
E MAIL: icronin@townofseabrookisland.org
MAIL: Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455
The meeting will be live streamed on the town's YouTube channel at the following address: <https://www.youtube.com/channel/UCIkF87kn>



ATTACHMENT #15

Public Hearing Notice:
Property Posting

PUBLIC HEARING
Wasting Request
✓ **Wastewater Program** 6.80
✓ **Vehicle** (not an extra fee)
✓ **On-site** (not an extra fee) 30 to 40
Hearing Date: **January 21, 2021** Time: **2:30**
Localities:
Via Zoom
More Information
Case #
172





ATTACHMENT #16

Ordinance 2020-01: Village PUD Amendment
(Adopted 02-25-2020)

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

ADOPTED FEBRUARY 25, 2020

AN ORDINANCE ADOPTING A SECOND AMENDMENT TO THE PLANNED UNIT DEVELOPMENT FOR THE VILLAGE AT SEABROOK (FORMERLY KNOWN AS "AREA SIX" AND THE "LAKE ENTRY TRACT")

WHEREAS, on February 22, 2000, the Mayor and Council for the Town of Seabrook Island adopted Ordinance 2000-01, entitled "An Ordinance to Adopt a Planned Unit Development Within Area Six (Lake Entry Tract)"; and

WHEREAS, on June 5, 2000, the Mayor and Council for the Town of Seabrook Island adopted Ordinance 2000-08, entitled "An Ordinance to Amend the Planned Unit Development Within Area Six for the Lake Entry Tract (Developed as the Village at Seabrook)"; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island now wish to amend the Planned Unit Development ordinance for Lake Entry Tract, now known as the "Village at Seabrook," so as to modify the setback requirements and other development standards related to the Village at Seabrook; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island believe it is fitting and proper to amend the requirements of the Planned Unit Development for the Village at Seabrook so as to clarify and standardize the requirements for future development; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island advertised and held a public hearing on the proposed amendments during a duly called meeting on February 25, 2020, with public comments duly noted;

NOW, THEREFORE, pursuant to the authority granted by the Constitution and the General Assembly of the State of South Carolina, **BE IT ORDAINED BY THE MAYOR AND COUNCIL FOR THE TOWN OF SEABROOK ISLAND:**

SECTION 1. Purpose

This ordinance is adopted to amend the Planned Unit Development for the Village at Seabrook (formerly known as "Area Six" and the "Lake Entry Tract"), which was established by Ordinance 2000-01 on February 22, 2000, and amended by Ordinance 2000-08 on June 5, 2000.

SECTION 2. PUD Amended

The Village at Seabrook PUD (Application #1739 as amended) (Exhibit A) is hereby approved and adopted. The approved amendments to the application which shall constitute the PUD for this property are shown on the map attached as Exhibit B and incorporated herein by reference; provided, however, the Land Use Summary contained within the attached Exhibit B is hereby amended to read as follows:

LAND USE SUMMARY

TMS #: Formerly known as 147-00-00-009

Total Area (Including Lake): 42.219 AC

- Common Area and Lake: 8.33 AC
- Seabrook Island Road: 2.5 AC
- Residential: 22.84 AC
- Buffers: 3.0 AC
- Residual Tract (Ground Lease): 5.54 AC

Proposed Land Use: Detached Multi-Family Residential

Minimum Lot Size: 6,000 S.F.

Maximum Lot Coverage: 40%

Setbacks:

- Front Yard Setbacks: The minimum front yard setback shall be 30 feet from the street right-of-way; provided, however:
 - For corner lots wherein one street frontage is a cul-de-sac street, the minimum front yard setbacks shall be 30 feet from the cul-de-sac street right-of-way and 20 feet from the intersecting street right-of-way; and
 - Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way.
- Side Yard Setbacks: The minimum side yard setback shall be 7.5 feet from all side property lines; provided, however:
 - In instances where an existing structure on a neighboring lot is situated less than 7.5 feet from the shared property line, a larger setback shall be required in order to ensure a minimum separation of at least 15 feet between structures; and
 - Accessory structures, including but not limited to HVAC and generator equipment and associated stands, which were lawfully in existence as of February 25, 2020, may be replaced; provided, no part of the new equipment and/or stand may be situated any closer to the side property line than the equipment and/or stand which it will replace; and provided, the replacement equipment and/or stand is installed no more than ninety (90) days following removal of the equipment and/or stand which it will replace.

- Rear Yard Setbacks: The minimum rear yard setback requirement shall be 25 feet from the rear property line; provided, however:
 - For lots abutting an open space area (lake, lagoon, golf course, trail, etc.), an uncovered deck may encroach no more than 10 feet into the required rear yard setback;
 - For pie-shaped lots that do not have a defined rear property line from which to apply a rear yard setback, the rear yard setback shall be measured from the point where the side property lines intersect at the rear of the property; and
 - Pursuant to Section 7.60.10.10 of the DSO, corner lots are defined to have two front yards and two side yards. Therefore, a rear yard setback shall not be required for any corner lot.

The Lake Entry Tract PUD is subject to all of the requirements of the Town Code and DSO; provided, however, all detached residential units within the Village at Seabrook shall be treated as “single-family detached residential units” and, therefore, shall not be subject to the architectural review requirements for multi-family development, as outlined in Section 14 of the DSO, as long as the architectural plans have been reviewed and approved by a duly constituted architectural review board prior to the issuance of a zoning permit by the town. In the event of conflict between this ordinance and the Town Code and/or DSO, the provisions of this ordinance shall prevail. The applicant further agrees that all roads within the PUD as well as the six-acre lake shall be deeded to the Seabrook Island Property Owner’s Association.

SECTION 3. Codification

The Development Standards Ordinance of the Town of Seabrook Island, South Carolina; Article 6, Approved Planned Developments; Section 6.80, The Village at Seabrook, a/k/a Lake Entry Tract, PDD, is hereby amended so as to replace the existing language in Section 6.80 with the language contained in Section 2 of this ordinance.

SECTION 4. Severability.

If any section, subsection, paragraph, clause, or provision of this ordinance shall be deemed to be unconstitutional, unenforceable, or otherwise invalid by the final decision of a court of competent jurisdiction, it shall be construed to have been the legislative intent of Town Council to pass said ordinance without such unconstitutional provision, and the validity of all remaining sections, subsections, paragraphs, clauses, or provisions of said ordinance shall not be affected thereby. If said ordinance, or any provision thereof, is held by the final decision of a court of competent jurisdiction to be inapplicable to any person, group of persons, property, kind of property, circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property or circumstances.

SECTION 5. Conflicting Ordinances Repealed.

All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

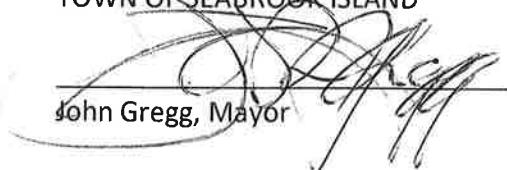
SECTION 6. Effective Date.

This ordinance shall be effective from and after the date of adoption.

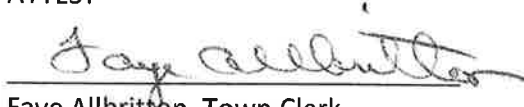
SIGNED AND SEALED this 28th day of February, 2020, having been duly adopted by the Town Council for the Town of Seabrook Island on the 25th day of February, 2020.

First Reading: January 28, 2020
Public Hearing: February 25, 2020
Second Reading: February 25, 2020

TOWN OF SEABROOK ISLAND


John Gregg, Mayor

ATTEST


Faye Allbritton, Town Clerk

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

Exhibit A

PUD Application (As Amended)

Town of Seabrook Island - Zoning Permit

Permit Date: 03/27/1997 Permit #, Town: 1739 License #: 0
TMS Number: 147-00-00-009 Thru: And: Paid Date: 03/27/1997
App Fee: \$820.00 Cash: No Check #: 1008

Applicant Name: Seabrook Island I.L.I.C. Phone:
Contact Name: Hank Hofford or Dave Savitz
App Address1: 17 Lockwood Dr. The Rice Mill
App Address2:
App City: Charleston St: SC Zip: 29402

Property Owner: Seabrook Island I.L.I.C. Phone: 722-8200
Owner Address1: P.O. Box 1707
Owner Address2:
Owner City: Charleston St: SC Zip: 29455

Property Location: Lot: Block:
Property Address: 56 acre lake entry tract

Purpose: Submittal of a Planned Unit Development for property presently known as the Lake Entry Site. This property is just past the gate on the left leading into the Island.

Work Value: \$0.00 Const Cost: \$0.00 Flood Elev: 13 Zone: A8

Architectural Review Board:

Comments: Requires Recommendation of Planning Commission and approval of Town Council

The Town Council voted on June 24, 1997 to accept the Planning Commission recommendation that this application be denied because it did not meet sec 8.10.0 **** March 22, 2000, The Town Council voted to approve the amended PUD which changes the development from a Health Care Facility to a development of 106 Multi-Family lots. ****
Amendment: 2/4/2000 to amend this application for a planned development of a health care facility to a planned multi-family development of 106 units.

This Zoning Permit is valid for six (6) months. The action for which this permit was obtained must be taken within that time period.
If this zoning permit is for issuance of a building permit, such building permit is valid for a period of one (1) year as described in the town code.
Any extentions, alterations, or amendments must be approved in writing by the Town of Seabrook Island Zoning Administration.

I hereby certify that the above information and any plan or drawing submitted herewith are true and accurate indications of existing or proposed improvements to the above identified property.

Owner/Applicant's Signature
Wednesday, January 12, 2000

Joseph M. Smith
Zoning Administrator
Wednesday, January 12, 2000

APPROVED BY TOWN COUNCIL
OK ~~JAN 25, 2000~~
MARCH 22, 2000
P.M.D.

David Hofford
Printed Name

Exhibit "A"

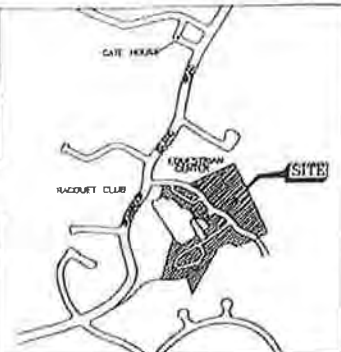
TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

Exhibit B

Village at Seabrook Project Map (As Amended)

Exhibit B



LOCATION MAP
NOT TO SCALE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	428.97	355.86	47°31'49"	188.89	N24°55'06"E	345.74
C2	20.09	27.89	79°32'52"	16.72	S48°10'32"W	25.71
C3	768.97	112.04	22°12'51"	58.73	N02°42'22"W	111.34
C4	20.09	28.12	80°11'48"	16.92	S51°57'37"E	25.88
C5	597.62	317.07	30°23'53"	162.36	N76°51'02"W	313.36
C6	584.64	32.22	03°09'29"	16.12	N48°16'09"W	32.22
C7	720.00	395.74	31°29'32"	203.01	N83°52'16"E	390.78

LINE	BEARING	LENGTH
L1	N 32°24'41" W	21.84
L2	N 56°14'33" W	25.47
L3	N 17°16'50" W	33.85
L4	N 36°39'48" W	90.90
L5	N 27°06'39" W	39.80
L6	N 32°04'28" W	96.59
L7	N 31°14'07" W	66.76
L8	N 30°10'53" W	45.81
L9	N 34°48'32" W	53.30
L10	N 32°21'40" W	72.81
L11	N 26°41'33" W	31.76
L12	S 87°02'01" W	129.99
L13	S 60°10'16" W	82.44
L14	N 64°10'55" W	118.67
L15	S 75°59'04" W	115.77
L16	S 48°30'19" W	110.58

OWNER:
SEABROOK ISLAND I. LLC
P.O. BOX 1707
CHARLESTON, SC 29407

CLIENT:
BOWEN HOFFORD CONSTRUCTION CO

LAND PLANNER/DESIGNER:
HLA, INC.
CHARLESTON, SC

CIVIL ENGINEER/SURVEYOR:
H. DUNCAN & ASSOCIATES
CHARLESTON, SC



Land Use Summary

See Ordinance 2020-01

TOPOGRAPHIC AND TREE SURVEY INFORMATION
PROVIDED BY G. ROBERT GEORGE AND
ASSOCIATES, INC MARCH 1997
(UPDATED OCTOBER 1999)



HLA HOFFMAN LESTER ASSOCIATES, INC.
Lead Planning • Civil Engineering • Landscape Architecture
Real Estate Consulting • Land Surveying

29 LEINBACH DRIVE • CHARLESTON, S.C. • 29407 • (843) 783-1186

AMENDMENT TO P.U.D.
AND LAND USE PLAN
VILLAGE AT SEABROOK
(LARGE ENTRY TRACT)
SEABROOK ISLAND, SOUTH CAROLINA

PROJECT	97050.00
DATE: 12-22-89	
SCALE: 1"=100'	
DESIGN: DLL	
DRAWN: DRC/ADB	
CHECK:	
REVISIONS	
SHEET	1 of 1



ATTACHMENT #17

Village at Seabrook Corner Lots



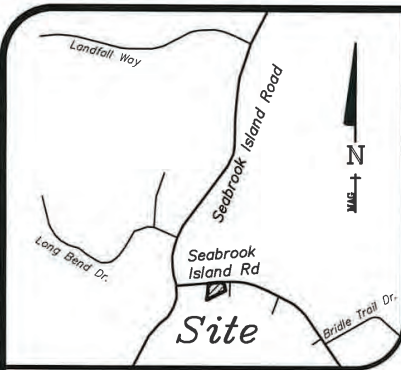
Village at Seabrook

Corner Lot Setbacks

Green Box: Lots fronting a cul-de-sac street
30' from cul-de-sac street
20' from secondary street

Red Box: All other corner lots
30' from both streets

Star: Built Lot



NOTES:

- 1.) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
- 2.) AREA DETERMINED BY COORDINATE METHOD.
- 3.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
- 4.) THE PRESENCE OR ABSENCE OF U.S. ARMY CORP OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.
- 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY, AND IS NOT THE RESULT OF A TITLE SEARCH.
- 6.) TREE SPECIES SHOWN HEREON ARE OUR OPINION ONLY AND HAVE NOT BEEN VERIFIED BY A CERTIFIED ARBORIST. PRIOR TO ANY DEVELOPMENT OR TREE REMOVAL TREE SPECIES SHALL BE VERIFIED.
- 7.) THIS PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 13, AS PER FEMA MAP COMMUNITY-PANEL No. 450258 0785 J, DATED 11/17/04. IT IS THE OWNERS/BUILDERS RESPONSIBILITY TO VERIFY THIS FLOOD ZONE WITH LOCAL AUTHORITIES PRIOR TO BUILDING.
- 8.) DECLARATION IS MADE TO THOSE PERSONS FOR WHICH THIS PLAT WAS PREPARED. IT IS NOT TRANSFERABLE TO SUBSEQUENT OWNERS. THIS DRAWING/PLAT IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF GEORGE A.Z. JOHNSON, JR., INC. IT SHALL NOT BE REPRODUCED OR USED IN ANY WAY, WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF F. STEVEN JOHNSON, PLS, SC REG No. 10038. COPYRIGHT © 2012, F. Steven Johnson
- 9.) USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION, OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS UNAUTHORIZED USE AND IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.
- 10.) "SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED.
- 11.) THESE CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

LOCATION MAP
N.T.S.

LEGEND:

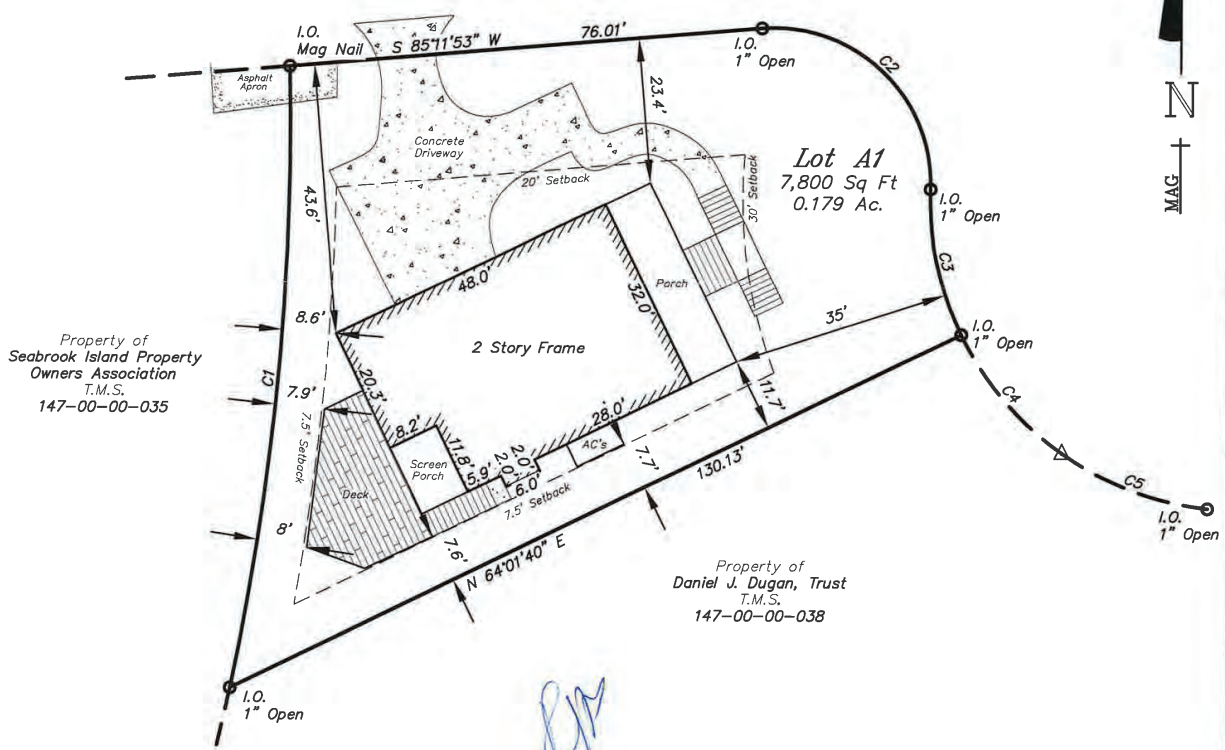
- I.O. IRON PIN OLD
- I.N. IRON PIN NEW (5/8 REBAR)
- CONCRETE MONUMENT FOUND
- △ C.P. CALCULATED POINT
- ⊙ POWER POLE
- PROPERTY LINE
- - - ADJOINER LINE
- - - SETBACK LINE

REFERENCES:

- 1.) T.M.S. 147-00-00-037
- 2.) PLAT BY G. ROBERT GEORGE DATED NOVEMBER 13, 2001 PLAT BOOK EF PAGE 245, 246 RMC CHARLESTON COUNTY

Curve	Delta	Radius	Arc	Tangent	Chord	Chord Brg.
C1	13°25'39"	428.97	100.53	50.50	100.30	N05°13'52"E
C2	96°39'44"	25.00	42.18	28.09	37.35	N46°27'55"W
C3	27°50'38"	50.00	24.30	12.39	24.06	S12°03'03"E
C4	28°57'18"	50.00	25.27	12.91	25.00	S40°27'02"E
C5	28°57'18"	50.00	25.27	12.91	25.00	S69°24'20"E

Seabrook Island Road
60' Right-of-Way



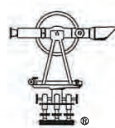
FINAL ASBUILT SURVEY
No. 2191 SEABROOK ISLAND ROAD
LOT A1, THE VILLAGE AT SEABROOK
TOWN OF SEABROOK ISLAND
CHARLESTON COUNTY
SOUTH CAROLINA
 T.M.S. No. 147-00-00-037

OWNED BY:
DR. RON & VANIA WILKES

I hereby certify to the owner(s) shown hereon that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; and that there are no visible encroachments or projections other than shown.



J.N. 23518 FIN F.B. 919 MZJ 20 10 0 20
 DATE: 6/14/12 SCALE: 1" = 20'



GEORGE A.Z. JOHNSON, JR., INC.
ENGINEERS · PLANNERS · LAND SURVEYORS

6171 SAVANNAH HIGHWAY
 RAVENEL, SOUTH CAROLINA 29470
 (843) 889-1492 Charleston No. 722-3892 Edisto No. 869-1495
 Fax No. (843) 889-1054

F. Steven Johnson, RLS S.C. No. 10038
 This plat not a valid, true copy unless bearing the raised, embossed seal of the surveyor.

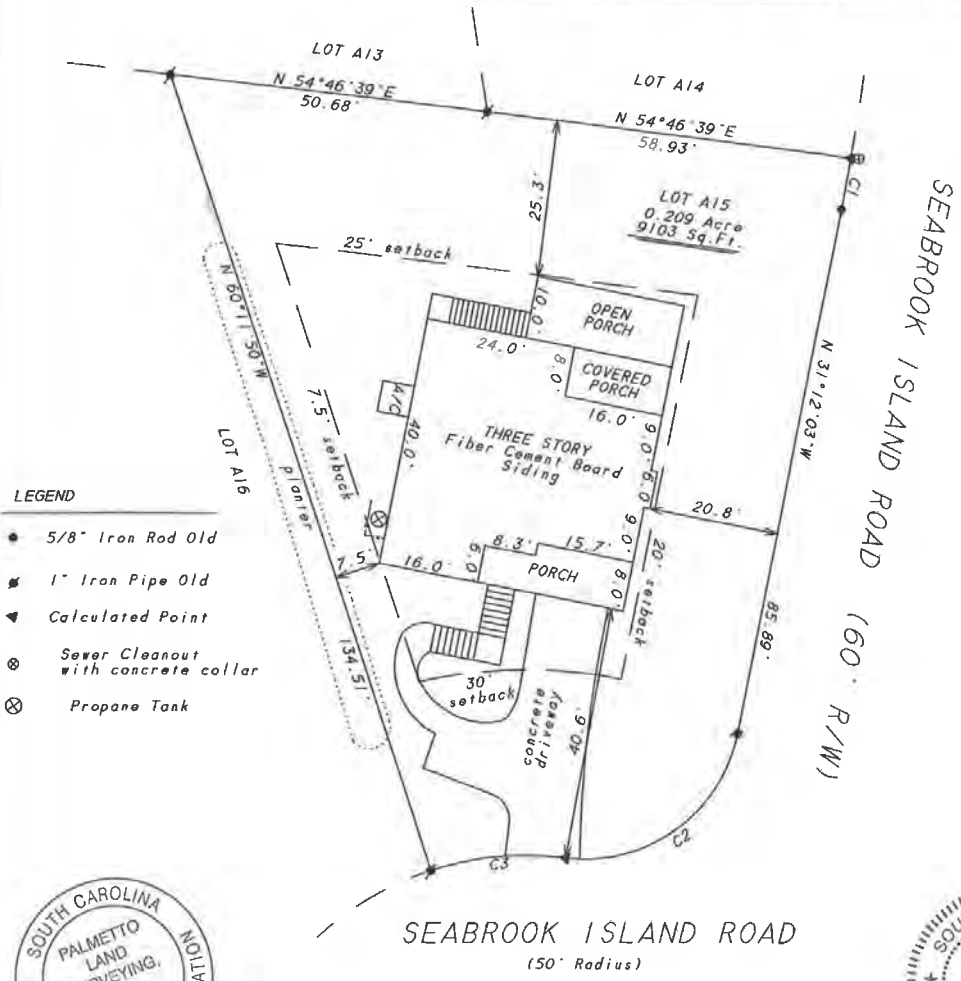


CURVE	Arc	Delta Angle	Chord	Ch Bearing	Radius	Tangent
C1	8.35'	01°23'12"	8.35'	S 31°53'39"E	345.00'	4.18'
C2	37.60'	86°10'39"	34.16'	N 11°53'17"E	25.00'	23.39'
C3	21.97'	25°10'16"	21.79'	S 42°23'52"W	50.00'	11.16'

FILE THIS

SURVEY NOTES

1. Reference Tax Map Number 147-00-00-051
2. Reference Plat Book EF Page 245 & 246
3. Survey Requested By: Saltwater Homes
4. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
5. This lot has been checked against area FEMA maps and to the best of this surveyor's knowledge, said lot is located in Flood Zone AE(13'). Ref. Map No. 45019C0785 J dated 11-17-2004



- LEGEND**
- 5/8" Iron Rod Old
 - ◆ 1" Iron Pipe Old
 - ▲ Calculated Point
 - ⊗ Sewer Cleanout with concrete collar
 - ⊗ Propane Tank

As-Built Survey
 LOT A15, THE VILLAGE AT SEABROOK
 LOCATED IN THE
 Town of Seabrook Island
 CHARLESTON COUNTY, SOUTH CAROLINA

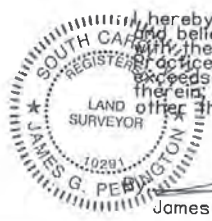
[Signature] 6/30/15

SURVEYOR'S STATEMENT

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein, also there are no visible encroachments or projections other than shown.

[Signature]
 James G. Penington, P.L.S. No. 10291

[Signature] 6/11/15
 Date



2065 SAVANNAH HIGHWAY
 SUITE 2
 CHARLESTON, SC 29407
 PHONE (843) 571-5191
 EMAIL: Palmetto@south.net

PREPARED EXCLUSIVELY FOR:
 Saltwater Homes

SITE LOCATION:
 2247 Seabrook Island Road
 Seabrook Island, SC 29455

GRAPHIC SCALE: 1" = 20'

FIELD SURVEY DATE: 10 June 2015
 DRAWING DATE: 11 June 2015

FIELD SURVEY BY: JP/ZT
 DRAWN BY: JGP

CLIENT PROJECT NO.: 6414
 DRAWING FILE NO.:

1
 OF
 1
 SHEET



GRICE SURVEYING, INC.

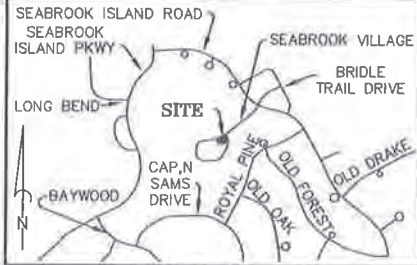
LAND SURVEYING SERVICES
410 GENERAL MOULTRIE DRIVE
BONNEAU, S.C. 29431
PHONE: (843) 825-3573
EMAIL: rgrice@gricesurveying.com

NOTES:

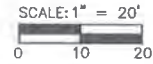
1. TMS 147-00-00-091.
2. BY FEMA FIRM 45019C 0785 J DATED NOVEMBER 17, 2004 THIS PROPERTY IS LOCATED IN ZONE AE EL 12, A FLOOD HAZARD AREA. FLOOD ZONE WAS DETERMINED BY SCALING FROM FEMA FIRM MAPS. CONSULT WITH LOCAL BUILDING OFFICIALS FOR REVISION TO FIRM BEFORE CONSTRUCTION.
3. AREA CALCULATED BY THE COORDINATE METHOD.
4. BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
5. THE SURVEY SHOWN HEREON IS NOT THE RESULT OF A TITLE SEARCH, BUT BASED ON THE REFERENCE DOCUMENTS LISTED HEREON, LINES OF OCCUPATION, AND FOUND MONUMENTATION.

REFERENCE:

- 1.) PLAT BY G ROBERT GEORGE AND ASSOCIATES INC. DATED NOVEMBER 13, 2001 PLAT BOOK EF, PAGE 245 & 246 CHARLESTON COUNTY RMC
- 2.) DEED BOOK W542 PG.222



LINE TABLE		
LINE	LENGTH	BEARING
L1	22.12	S28°38'21"W



CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	DELTA
C1	88.87	125.00	46.41	87.01	40°44'13"
C2	44.88	25.00	31.35	39.09	102°51'05"
C3	121.23	525.00	60.89	120.96	1°31'49"

LEGEND:

- IPF - IRON PIPE FOUND, AS NOTED
- R/W - RIGHT-OF-WAY
- S.B. - SETBACK

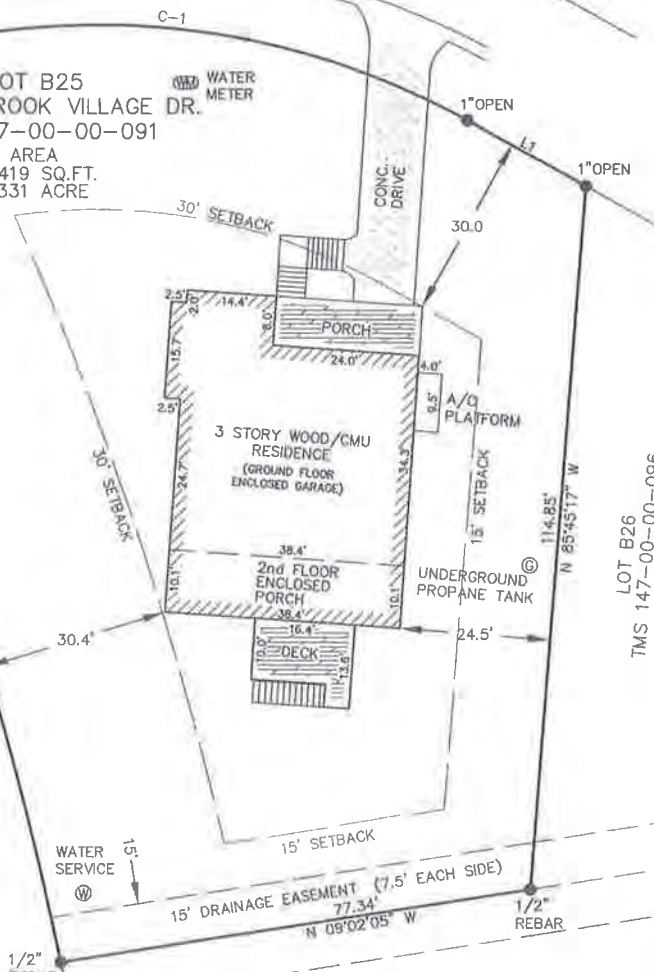


I, Randolph J. Grice, a Professional Land Surveyor of the State of South Carolina, do hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown.

Randolph J. Grice 04-20-11
Randolph J. Grice, PLS S.C. Registration Number 14183

SEABROOK VILLAGE DRIVE 50' R/W

LOT B25
3041 SEABROOK VILLAGE DR.
TMS 147-00-00-091
AREA
14,419 SQ.FT.
0.331 ACRE



LOT B24
TMS 147-00-00-092

PLAT OF LOT B25
THE VILLAGE AT SEABROOK
3041 SEABROOK VILLAGE DRIVE
TMS 147-00-00-091
TOWN OF SEABROOK ISLAND
CHARLESTON COUNTY, S.C.

OWNED BY:
FIRST SOUTHERN NATIONAL BANK

DATE: APRIL 19, 2011

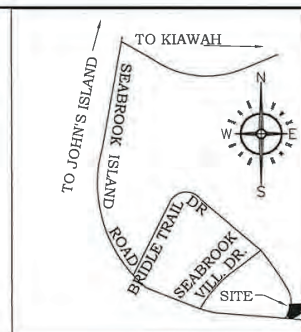
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Handwritten signature

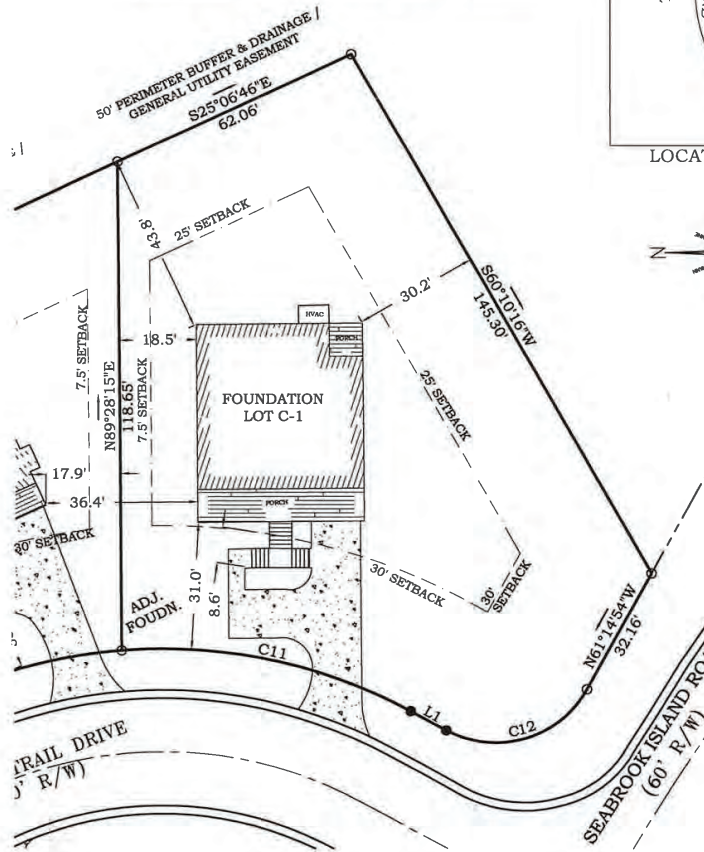


LINE TABLE		
LINE	LENGTH	BEARING
L1	9.73	N28°22'39"E

CURVE TABLE						
CURVE	LENGTH	DELTA	RADIUS	CHORD	TANGENT	BEARING
C11	72.05	33°01'37"	125.00	71.06	37.06	N11°51'55"E
C12	39.11	89°37'36"	25.00	35.24	24.84	S16°26'08"E



LOCATION MAP N.T.S.



NOTES:

- 1) REFERENCE PLAT RECORDED BY TIMOTHY D. ELMER DATED 5-21-03
- 2) REFERENCE PLAT BOOK EG PAGE 425
- 3) TMS# 147-00-00-110
- 4) ALL CORNERS FOUND ARE AS DESCRIBED
- 5) PROPERTY IS LOCATED IN FLOOD ZONE "AE" ELEV 13 FIRM PANEL 45019C-0785-J DATED NOVEMBER 17, 2004
6. BOUNDARY INFORMATION TAKEN FROM NOTE 1 A BOUNDARY SURVEY WAS NOT PERFORMED SHOWN FOR INFORMATION ONLY.

LINE LEGEND

- P/L W/ PROPERTY CORNER FOUND
- P/L W/ PROPERTY CORNER SET
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- EASEMENT LINE
- BUILDING SETBACK LINE



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "X" SURVEY AS SPECIFIED THEREIN.

Mark Ellis Lamb 6/1/06
 MARK ELLIS LAMB, SR. SCPLS# 23200 DATE



DESIGNED:	N/A
DRAWN:	EAD
CHECKED:	MEL
APPROVED:	MEL
SCALE:	1"=30'
DATE:	6-1-06
PROJECT NO.:	N/A
SHEET:	1 OF 1

FINAL SURVEY
 LOT C-1 BRIDLE TRAIL DRIVE
 LOCATED IN
 THE TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

AEGIS
 LAND SURVEYING, INC.
 POST OFFICE BOX 50849
 SUMMERVILLE, SC 29485
 TEL: (843) 225-8082
 FAX: (843) 225-8083
 "DATA YOU CAN DEPEND ON"

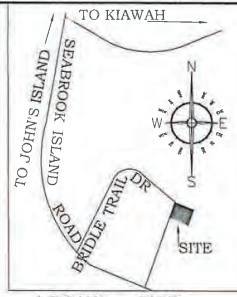




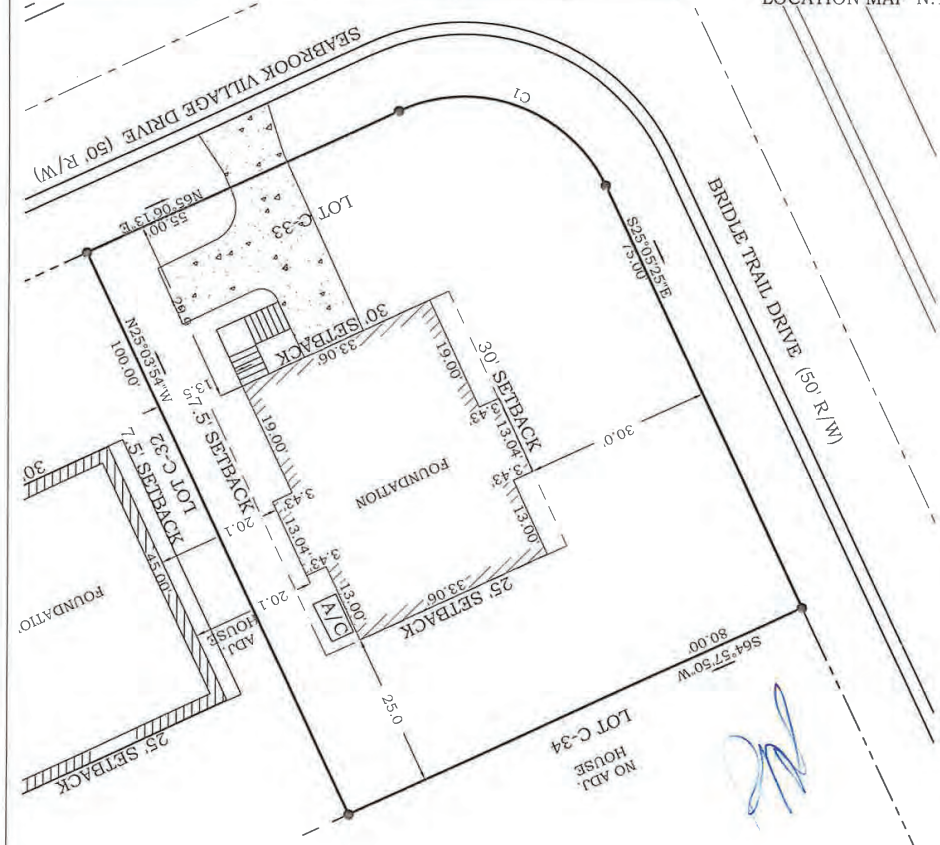
Cypress Homes

LINE LEGEND

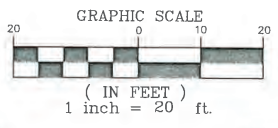
- P/L W/ PROP CORNER FOUND
- P/L W/ PROP CORNER SET
- - - - ADJACENT PROPERTY LINE
- - - - RIGHT-OF-WAY LINE
- - - - CENTER LINE
- - - - EASEMENT LINE
- - - - BUILDING SETBACK LINE



CURVE TABLE					
CURVE	LENGTH	CHORD	BEARING	TANGENT	RADIUS
C1	39.34'	35.41	N69°54'57"W	25.07'	25.00



- NOTES:
- 1) REFERENCE PLAT RECORDED BY G. ROBERT GEORGE DATED 12-19-2001
 - 2) REFERENCE PLAT BOOK EF PAGE 245
 - 3) TMS# 147-00-00-142
 - 4) ALL CORNERS FOUND ARE AS DESCRIBED
 - 5) PROPERTY IS LOCATED IN FLOOD ZONE "AE" ELEV 13 FIRM PANEL 45019C-0785-J DATED NOVEMBER 17, 2004
 6. BOUNDARY INFORMATION TAKEN FROM NOTE 1 A BOUNDARY SURVEY WAS NOT PERFORMED SHOWN FOR INFORMATION ONLY.



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

Mark Ellis Lamb
 MARK ELLIS LAMB, SR. SCPLS# 23200 DATE 2/24/06

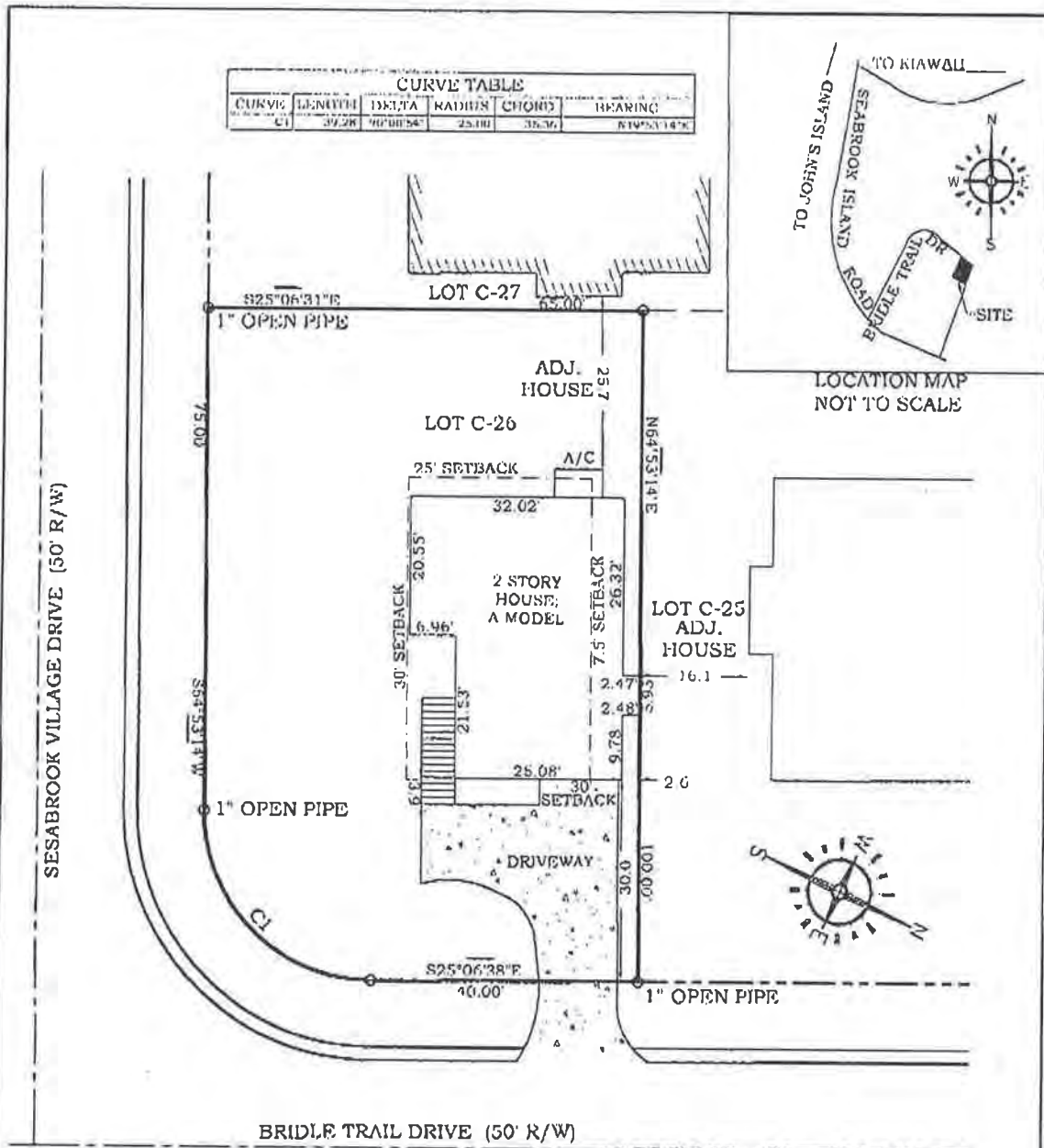


DESIGNED:	N/A
DRAWN:	DDB
CHECKED:	MEL
APPROVED:	MEL
SCALE:	1"=20'
DATE:	2/24/2006
PROJECT NO.:	N/A
SHEET:	1 OF 1

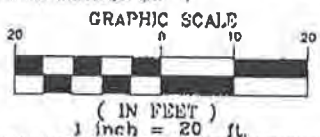
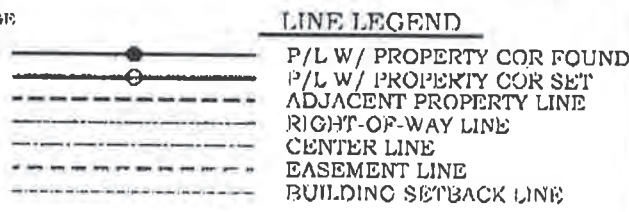
FINAL SURVEY
 LOT C-33 BRIDLE TRAIL
 LOCATED IN
 THE TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

AEGIS
 LAND SURVEYING, INC.
 POST OFFICE BOX 50849
 SUMMERVILLE, SC 29485
 TEL: (843) 225-8082
 FAX: (843) 225-8083
 "DATA YOU CAN DEPEND ON"





NOTES:
 1) REFERENCE PLAT RECORDED BY G. ROBERT GEORGE DATED 11-17-03
 2) REFERENCE PLAT BOOK EG PAGE 720
 3) TMS# 147-00-00-133
 4) ALL CORNERS FOUND ARE AS DESCRIBED
 5) PROPERTY IS LOCATED IN FLOOD ZONE "AE"
 ELEV 13 FIRM PANEL 45019C-0785-J
 DATED NOVEMBER 17, 2004
 6. BOUNDARY INFORMATION TAKEN FROM NOTE 1 A BOUNDARY SURVEY WAS NOT PERFORMED SHOWN FOR INFORMATION ONLY.



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 'X' SURVEY AS SPECIFIED THEREIN.



DATE	DATE
1/20/06	N/A
DRAWN	EMS
CHECKED	MEL
DATE	MEL
SCALE	1"=20'
DATE	12/1/2005
PROJECT	N/A
SHEET	1 OF 1

FINAL SURVEY
 LOT C-26 BRIDLE TRAIL
 LOCATED IN
 THE TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY SOUTH CAROLINA

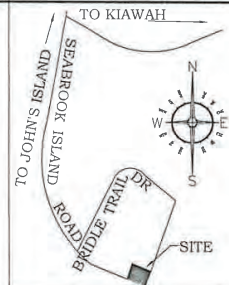
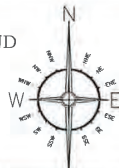
AEGIS LAND SURVEYING, INC.
 POST OFFICE BOX 50849
 SUMMERVILLE, SC 29485
 TEL: (843) 225-8082
 FAX: (843) 225-8083
 "DATA YOU CAN DEPEND ON"



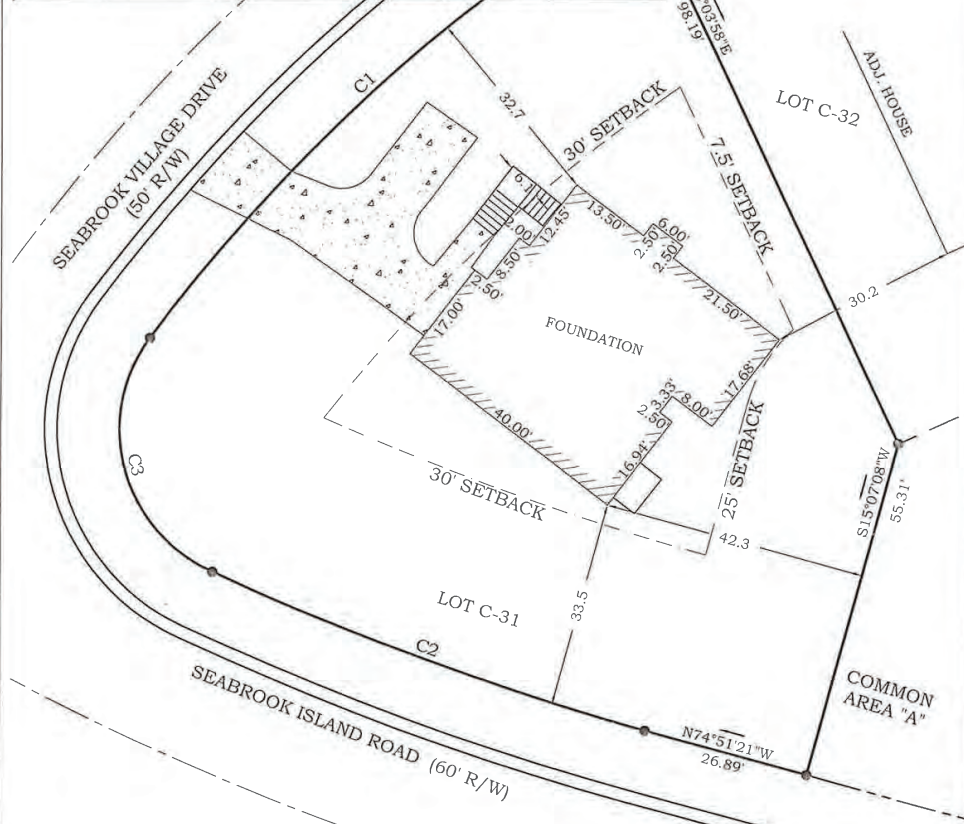
Cypress Homes -

LINE LEGEND

- P/L W/ PROP CORNER FOUND
- P/L W/ PROP CORNER SET
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- EASEMENT LINE
- BUILDING SETBACK LINE

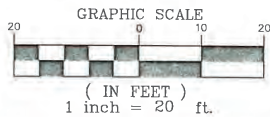


CURVE TABLE					
CURVE	LENGTH	CHORD	BEARING	TANGENT	RADIUS
C1	107.40'	106.72	S47°15'10"W	54.39'	275.00
C2	74.44'	74.36	S69°58'23"E	37.31'	445.00
C3	44.19'	38.66	S14°34'16"E	30.47'	25.00



NOTES:

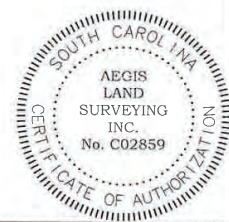
- 1) REFERENCE PLAT RECORDED BY G. ROBERT GEORGE DATED 12-19-2001
- 2) REFERENCE PLAT BOOK EF PAGE 245
- 3) TMS# 147-00-00-139
- 4) ALL CORNERS FOUND ARE AS DESCRIBED
- 5) PROPERTY IS LOCATED IN FLOOD ZONE "AE" ELEV 13 FIRM PANEL 45019C-0785-J DATED NOVEMBER 17, 2004
6. BOUNDARY INFORMATION TAKEN FROM NOTE 1 A BOUNDARY SURVEY WAS NOT PERFORMED SHOWN FOR INFORMATION ONLY.



RIP

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

Mark E. Lamb
 MARK ELLIS LAMB, SR. SCPLS# 95200 DATE 2/24/06

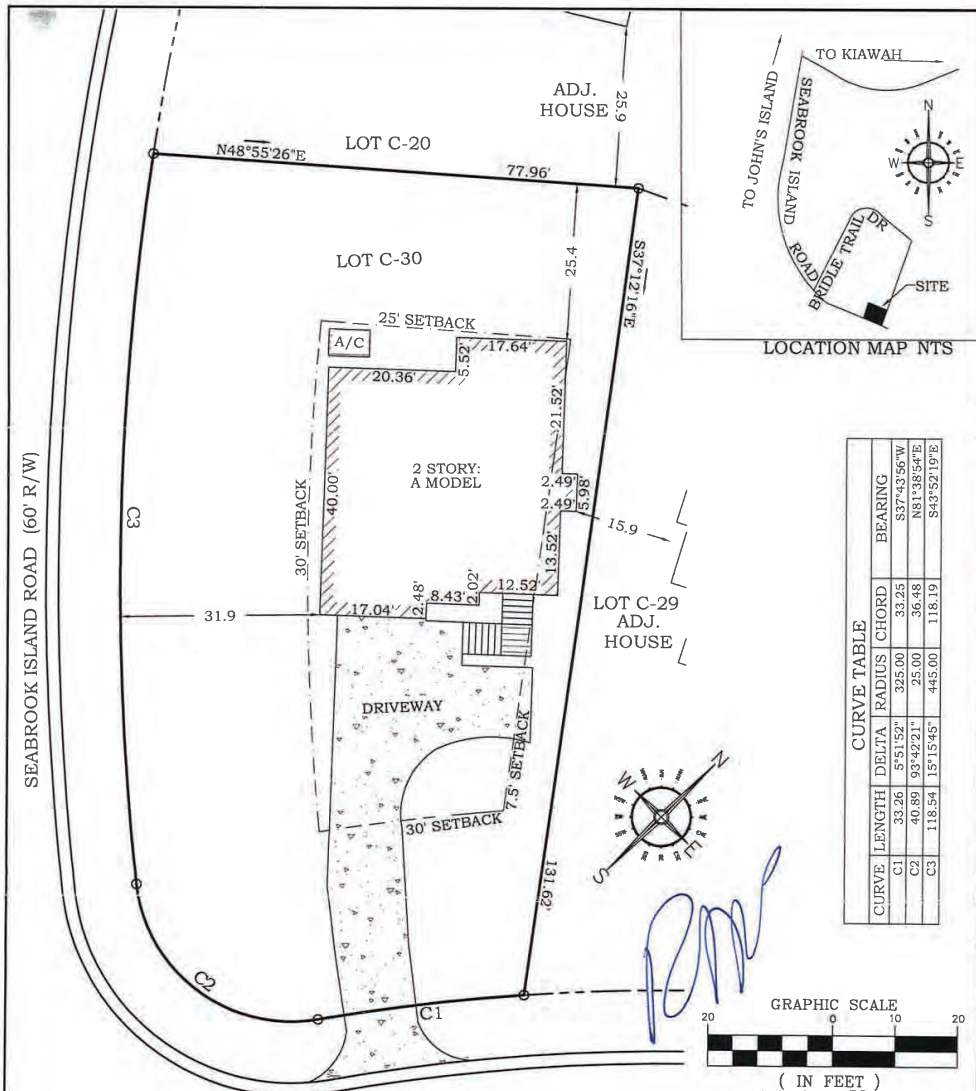


DESIGNED:	N/A
DRAWN:	DDB
CHECKED:	MEL
APPROVED:	MEL
SCALE:	1"=20'
DATE:	2/24/2006
PROJECT NO.:	N/A
SHEET:	1 OF 1

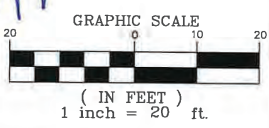
FINAL SURVEY
 LOT C-31 BRIDLE TRAIL
 LOCATED IN
 THE TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

AEGIS
 LAND SURVEYING, INC.
 POST OFFICE BOX 50849
 SUMMERVILLE, SC 29485
 TEL: (843) 225-8082
 FAX: (843) 225-8083
 "DATA YOU CAN DEPEND ON"





CURVE TABLE				
CURVE	LENGTH	DELTA	RADIUS CHORD	BEARING
C1	33.26	5°51'52"	325.00 33.25	S37°43'56"W
C2	40.89	93°42'21"	25.00 36.48	N81°38'54"E
C3	118.54	15°15'45"	445.00 118.19	S43°52'19"E



NOTES:
 1) REFERENCE PLAT RECORDED BY G. ROBERT GEORGE DATED 12-19-2001
 2) REFERENCE PLAT BOOK EF PAGE 245
 3) TMS# 147-00-00-129
 4) ALL CORNERS FOUND ARE AS DESCRIBED
 5) PROPERTY IS LOCATED IN FLOOD ZONE "AE" ELEV 13 FIRM PANEL 45019C-0785-J DATED NOVEMBER 17, 2004
 6. BOUNDARY INFORMATION TAKEN FROM NOTE 1 A BOUNDARY SURVEY WAS NOT PERFORMED SHOWN FOR INFORMATION ONLY.

LINE LEGEND	
	P/L W/ PROP CORNER FOUND
	P/L W/ PROP CORNER SET
	ADJACENT PROPERTY LINE
	RIGHT-OF-WAY LINE
	CENTER LINE
	EASEMENT LINE
	BUILDING SETBACK LINE

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 'A' SURVEY AS SPECIFIED THEREIN.



DESIGNED:	N/A
DRAWN:	ERS
CHECKED:	MEL
APPROVED:	MEL
SCALE:	1"=20'
DATE:	12/15/2005
PROJECT NO.:	N/A
SHEET:	1 OF 1

FINAL SURVEY
 LOT C-30 BRIDLE TRAIL
 LOCATED IN
 THE TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

AEGIS
 LAND SURVEYING, INC.
 POST OFFICE BOX 50849
 SUMMERVILLE, SC 29485
 TEL: (843) 225-8082
 FAX: (843) 225-8083
 "DATA YOU CAN DEPEND ON"

Permit 4074 Setback

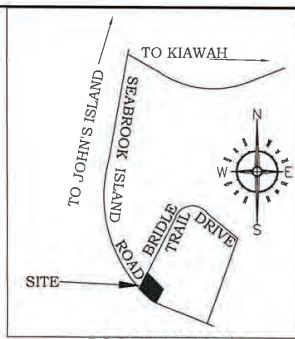


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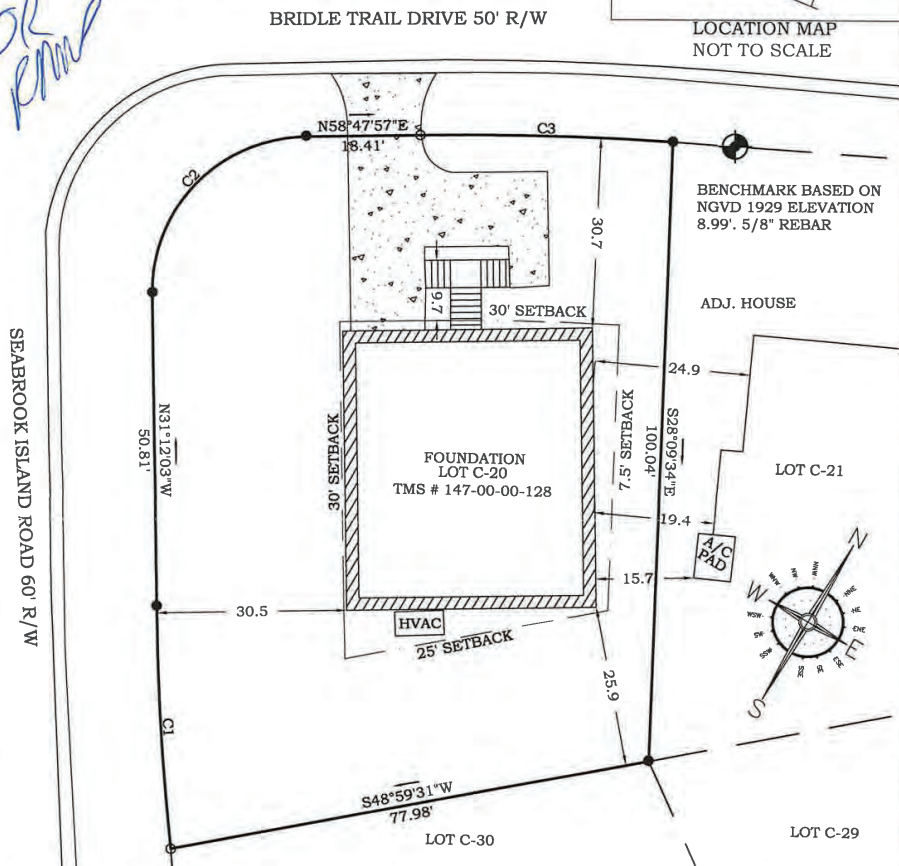
- P/L W/ PROPERTY CORNER FOUND
- P/L W/ PROPERTY CORNER CALC'D
- - - - - ADJACENT PROPERTY LINE
- - - - - RIGHT-OF-WAY LINE
- — — — — CENTER LINE
- — — — — BUILDING SETBACK LINE

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD	BEARING
C1	445.00'	5°02'23"	39.14'	39.13'	S33°43'15"E
C2	25.00'	90°00'54"	39.28'	35.36'	S13°47'57"W
C3	475.00'	4°53'10"	40.51'	40.49'	S61°14'17"W

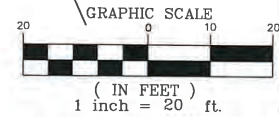


*OK
R/W*



BENCHMARK BASED ON NGVD 1929 ELEVATION 8.99' 5/8" REBAR

ADJ. HOUSE



- NOTES:**
- 1) REFERENCE PLAT RECORDED BY G. ROBERT GEORGE DATED 5-21-2001
 - 2) REFERENCE PLAT BOOK EF PAGE 245
 - 3) TMS# 147-00-00-128
 - 4) ALL CORNERS FOUND ARE AS DESCRIBED
 - 5) PROPERTY IS LOCATED IN FLOOD ZONE "AE" ELEV 13 FIRM PANEL 45019C 0785 J DATED NOVEMBER 17, 2004.
 6. BOUNDARY INFORMATION TAKEN FROM NOTE 1 A BOUNDARY SURVEY WAS NOT PERFORMED SHOWN FOR INFORMATION ONLY.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 'A' SURVEY AS SPECIFIED THEREIN.

Mark E. Lamb 4/28/06
 MARK ELLIS LAMB, SR. SCPLS# 23200 DATE



DESIGNED:	N/A
DRAWN:	EAD
CHECKED:	MEL
APPROVED:	MEL
SCALE:	1"=20'
DATE:	4/28/06
PROJECT NO.:	N/A
SHEET:	1 OF 1

FINAL SURVEY
 LOT C-20, 4029 BRIDLE TRAIL
 LOCATED IN
 THE TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

AEGIS
 LAND SURVEYING, INC.
 POST OFFICE BOX 50849
 SUMMERVILLE, SC 29485
 TEL: (843) 225-8082
 FAX: (843) 225-8083
 "DATA YOU CAN DEPEND ON"

