

TOWN OF SEABROOK ISLAND

Planning Commission Special Meeting

July 18, 2018 – 1:30 PM

Town Hall, Council Chambers

2001 Seabrook Island Road



AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. **Regular Meeting: May 2, 2018** [Pages 3–6]
2. **Special Called Meeting: June 21, 2018** [Pages 7–9]

OLD BUSINESS ITEMS

There are no Old Business Items

NEW BUSINESS ITEMS

1. **Architectural Review: The Village at Seabrook (Swallowtail 1)** [Pages 10–25]
Request from Swallowtail Architecture to review and approve a new residential model (Swallowtail 1) for use in the Village at Seabrook
2. **Temporary Use Permit: 2018 Alan Fleming Tennis Tournament** [Pages 26–28]
Request from the Seabrook Island Racquet Club to approve a Temporary Use Permit at 1701 Long Bend Drive for a tent and event signage during the Alan Fleming Tennis Tournament (October 2-7, 2018)

ITEMS FOR INFORMATION / DISCUSSION

1. **Seabrook Island Road Encroachment Permit Request**
Ray Pantlik, Atlantic Partners II LLC
2. **Material Requirements for Walls & Fences (§ 8.40.30 & § 10.60.10)**

COMPREHENSIVE PLAN WORK SESSION

1. Items for Discussion

- Draft Survey Questions
- Stakeholder Meeting Invitees
- Project Schedule

[Pages 29–33]

ADJOURN

TOWN OF SEABROOK ISLAND

Planning Commission Regular Meeting

May 2, 2018 – 2:30 PM



Town Hall, Council Chambers
2001 Seabrook Island Road

MINUTES

Present: Robert Driscoll (Chair), Lori Leary (Vice-Chair), Cathy Patterson, Wayne Billian, Joe Cronin (Town Administrator)

Absent: Ken Otstot

Guests: Don Romano (Seabrook Island Club), Michael Karamus (Architect), Katrina Burrell (SIPOA)

Chairman Driscoll called the meeting to order at 2:30 pm. Town Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled and the meeting agenda was properly posted.

APPROVAL OF MINUTES

1. **April 11, 2018:** Mr. Billian made a motion to approve the minutes from the April 11, 2018, meeting, as submitted. Ms. Patterson seconded the motion. The motion was approved by a vote of 4-0.

OLD BUSINESS ITEMS

There were no Old Business Items.

NEW BUSINESS ITEMS

1. **Architectural Review: Seabrook Island Club Equestrian Center:** Town Administrator Cronin provided a brief overview of the request, the purpose of which was to review and approve exterior modifications to the existing horse barn located at 2313 Seabrook Island Road. Applicants Don Romano (Seabrook Island Club) and Michael Karamus (Architect) provided additional information regarding the request. Among the items submitted for review were construction of a first floor addition, second floor addition, second floor porch, a 3' concrete sidewalk, interior renovations, and repair and replacement of several existing items.

Chairman Driscoll asked for the height of the new additions. Mr. Karamus responded that the additions would match the height of the existing building. Chairman Driscoll stated that

the maximum height was 36', but may be increased with an increase in the building's setback. Mr. Karamus stated that the existing building is not even close to 36'.

Chairman Driscoll asked what colors would be used. Mr. Karamus responded that it would be the same color scheme as the existing building. The same materials (rails, pickets, hardie plank and shingles) would also be used for the addition and renovation. Mr. Romano added that they had originally planned to leave the Dutch doors; however, these will be replaced when the entire building is re-sided.

Chairman Driscoll asked how many square feet will be added. Mr. Karamus responded that approximately 360 square feet would be added to the first floor, 840 to the second floor, as well as a 130 square foot covered porch on the second floor.

Ms. Patterson asked why they were not adding more stalls. Mr. Romano responded that they already have approximately 40 horses, half of which are boarder horses. He stated that the current barn was at capacity, but that didn't warrant tearing it down and rebuilding it. Mr. Karamus added that if the barn was expanded significantly, it would cut off access to other parts of the facility.

Chairman Driscoll asked if there were any staff comments. Town Administrator Cronin noted that the plan called for the removal of one crepe myrtle. However, because the building was set so far back from both rights-of-way, and a significant number of trees will remain, staff did not have any objections.

Mr. Billian asked if any changes to the site lighting were being proposed. Mr. Romano responded that the Club will look at changing the lights once the tennis court lighting project is completed. Mr. Billian stated that he didn't understand the lighting pattern at the equestrian center, as sometimes they were on, and sometimes they were off. Mr. Romano responded that the Club is evaluating the lighting at all of their facilities, and hopes to make it less haphazard. Ms. Patterson agreed that the current lighting situation is an inconvenience for neighboring property owners.

There being no further questions, Chairman Driscoll called for a motion. Ms. Leary made a motion to approve the architectural plans, as submitted. Mr. Billian seconded the motion. The motion was approved by a vote of 4-0.

ITEMS FOR INFORMATION / DISCUSSION

- 1. Presentation by Katrina Burrell regarding SIPOA Color Requirements:** Town Administrator Cronin stated that members of the Planning Commission had recently asked for a presentation from SIPOA regarding the Architectural Review Committee's (ARC) paint color requirements. Town Administrator Cronin then introduced Ms. Katrina Burrell, the ARC Administrator for SIPOA, for a brief presentation.

Ms. Burrell stated that the ARC follows "grayscale" requirements, where paint colors must generally follow a "1" for trim, "3" for wood and stucco, and "4" for fiber cement. She

stated that all colors do not necessarily need to be gray; rather, the grayscale is used to determine a color's intensity and light reflective properties. She then demonstrated a "value finder" which the ARC uses to determine grayscale values. She stated that the ARC tries to mimic nature, and noted that the same color may appear to be lighter in sunny areas and darker in heavily wooded areas. She added that some regimes pre-date the SIPOA's color requirements. In these areas, many of the homes are darker than what the current requirements would allow; however, when they are repainted at a later date, they will need to follow the ARC's requirements. Ms. Burrell stated that color approval is typically an administrative decision, but that decisions may be appealed to the full ARC.

Chairman Driscoll asked if the ARC generally requires trim to be lighter than the main color on the house. Ms. Burrell responded that they try to get the trim color to be within 4 shades of the main color. Chairman Driscoll asked if white trim is allowed. Ms. Burrell responded that white does not fall within 4 shades, but that white is a common color; however, she noted that it is usually not "pure white."

Ms. Patterson noted that some colors may be different based on the manufacturer, noting that "Navajo White" is a different color when comparing Sherwin Williams and Benjamin Moore brand paints.

Ms. Leary asked when the ARC began using the grayscale requirement. Ms. Burrell responded that the grayscale was implemented in approximately 2014.

Chairman Driscoll asked if the ARC has color requirements for roofs. Ms. Burrell responded that most asphalt roofs use a weathered pattern. For metal roofs, the ARC generally advises applicants to stay away from red, blue and green roofs. She added that the ARC also seeks to avoid reflective properties in metal roofs.

There being no further questions, Chairman Driscoll thanked Ms. Burrell for her presentation.

- 2. Comprehensive Plan Update:** Chairman Driscoll asked for an update on the comprehensive plan. Town Administrator Cronin stated that the intergovernmental agreement with Charleston County is anticipated to be approved at the May 22nd Town Council meeting. He stated that he was also working on a write-up of the notes and comments from the joint meeting with Town Council on April 19th. Those notes will be distributed to Planning Commission members once they are completed.

Chairman Driscoll asked what Planning Commission members should be doing now. Town Administrator Cronin recommended reviewing the town's current comprehensive plan, as well as those from Charleston County and Kiawah Island. He also recommended that Planning Commissioners begin thinking about the names of potential stakeholders, as well as questions for a community survey which will go out this summer.

There being no further business, Mr. Billian made a motion to adjourn. Ms. Leary seconded the motion. The motion to adjourn was approved by a vote of 4-0, and the meeting was adjourned at 3:50 pm.

Minutes Approved:



Joseph M. Cronin
Town Administrator

DRAFT

TOWN OF SEABROOK ISLAND

Planning Commission Special Called Meeting

June 21, 2018 – 2:30 PM

Town Hall, Council Chambers
2001 Seabrook Island Road



MINUTES

Present: Robert Driscoll (Chair), Lori Leary (Vice-Chair), Cathy Patterson, Wayne Billian, Ken Otstot, Joe Cronin (Town Administrator)

Absent: None

Guests: Dan Frazier (Charleston County), Andrea Pietras (Charleston County)

Chairman Driscoll called the meeting to order at 2:30 pm. Town Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled and the meeting agenda was properly posted.

INTRODUCTIONS

Chairman Driscoll introduced himself and members of the Planning Commission. Dan Frazier and Andrea Pietras, both of the Charleston County Planning Department, introduced themselves to members of the Planning Commission. The Town of Seabrook Island has entered into an intergovernmental agreement with the county for planning services related to a 10-year update to the town's comprehensive plan. Under the agreement, Charleston County staff will be assisting the Planning Commission with a re-write of the town's plan.

PRESENTATIONS

- 1. Comprehensive Plan Project Schedule & Overview:** Mr. Frazier provided a Powerpoint presentation to members of the Planning Commission. Mr. Frazier's presentation included:
 - An overview of the comprehensive planning process;
 - A draft project schedule
 - A summary of the 9 required planning elements, including specific topics and potential data sources for each element;
 - Discussion of citizens input strategies, including a community survey and stakeholder meetings; and
 - Next steps for the comprehensive plan project

Following the presentation, the Planning Commission discussed the vision statement, citizen survey, and stakeholder meetings.

ITEMS FOR INFORMATION / DISCUSSION

1. **Vision Statement**: Following a review of the current vision statement, Town Administrator Cronin recommended tabling discussion of this item for now. With public input scheduled to take place during the month of July, he stated that it would be beneficial to discuss possible revisions to the vision statement after taking the time to review comments from the public. Members of the Planning Commission agreed to discuss the vision statement after the community survey and stakeholder meetings were completed.
2. **Citizen Survey**: Members of the Planning Commission, town staff and county staff discussed the framework for the citizen survey, as well as outreach strategies to maximize participation. Mr. Frazier stated that he would provide a list of draft survey questions for the Planning Commission's review and approval prior to public distribution.
3. **Next Steps / Stakeholder Meetings**: Mr. Frazier recommended holding a series of four stakeholder meetings over a two-day period. These meetings would be arranged based on specific topics, and a variety of stakeholders would be invited to participate in one or more meetings. The recommended meeting topics were:
 - **Intergovernmental Meeting**: Adjacent jurisdictions, utilities and infrastructure, regional planning and transportation, SCDHEC, etc.
 - **Economic Development Meeting**: Bohicket Marina and Freshfields Village ownership/management, SIPOA and Seabrook Island Club, the development/contractor community, tourism entities, etc.
 - **Community Groups Meeting**: Camp St. Christopher, the Seabrook Island Club, Bohicket Marina Merchants Association, various citizen and volunteer groups, etc.
 - **Special Stakeholder Meeting**: Seabrook Island POA and Council of Villa Associations and Regimes (COVAR)

Town Administrator Cronin noted that members of the Planning Commission were welcome to sit in on the meetings; however, they were not required to attend. County staff would prepare a summary of input received during each of the meetings.

Members of the Planning Commission also discussed the project schedule. Town Administrator Cronin asked whether members would prefer to hold a separate work session each month, or combine the commission's regular meetings with the comprehensive plan items. Members of the commission stated that they preferred to combine everything into a single meeting. To accommodate the longer meeting times, Town Administrator Cronin recommended moving the regular start time from 2:30 PM to 1:30 PM during the comprehensive plan update. Members agreed to the time change during the comprehensive plan update process.

Lastly, Town Administrator Cronin stated that the Planning Commission's next meeting date was a town holiday (Independence Day). Chairman Driscoll asked members their availability for alternate meeting dates. The July meeting was then rescheduled to July 18th at 1:30 PM.

There being no further business, the meeting was adjourned at 3:57 pm.

Minutes Approved:



Joseph M. Cronin
Town Administrator

DRAFT



MEMORANDUM

TO: Town of Seabrook Island Planning Commission Members
FROM: Joseph M. Cronin, Town Administrator
SUBJECT: Architectural Review: Village at Seabrook “Swallowtail 1”
MEETING DATE: July 18, 2018

The Planning Commission is asked to review and approve a request from Swallowtail Architecture, LLC, for a new residential plan in the Village at Seabrook. The proposed structure is currently planned for 3036 Seabrook Village Drive (Lot B37); however, if approved, the new “Swallowtail 1” plan will be approved for use on other lots in the Village at Seabrook.

The “Swallowtail 1” model has been reviewed and approved by the Village at Seabrook Regime Board. (See attached letter from Regime President, Cathy Patterson, dated July 13, 2018.)

The “Swallowtail 1” model has also been reviewed and approved by the SIPOA Architectural Review Committee. (See attached letter from ARC Administrator, Katrina Burrell, dated June 22, 2018.)

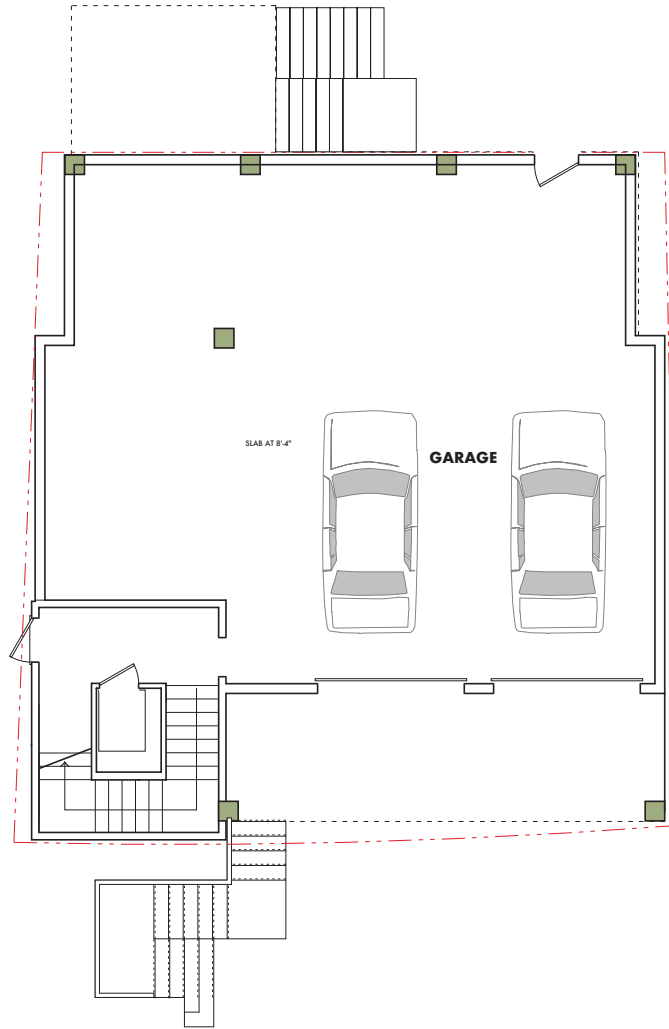
The Planning Commission is asked to approve the building design only. Should the Planning Commission approve the proposed elevation, the zoning administrator shall be authorized to review and approve the site plan for Lot B37 – as well as any other lot which uses the “Swallowtail 1” plan – to ensure that the plans satisfy all other requirements of the town’s Development Standards Ordinance, including, but not limited to, minimum setbacks and maximum lot coverage.

Staff Recommendation

In our opinion, the proposed design is consistent with existing models in the Village at Seabrook. The design has been approved by both the Village at Seabrook Regime Board, as well as the SIPOA Architectural Review Committee. Therefore, staff recommends in favor of **APPROVAL**.

Respectfully submitted,

Joseph M. Cronin
Town Administrator/Zoning Administrator



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

Plumbing Legend	
	Water Closet - Elongated Bowl
	Oval Lavatory
	Tub - With shower connections and shower rod
	Shower Stall
	Air Conditioning Condenser Unit
	Water Heater - tankless Rheem
	Double Sink - with disposal, under counter dishwasher; faucets selected by owner.
	Washer & Dryer - Connections with 1, 110 duplex, 1, 220 outlet, and hot and cold water and 1 1/2" vented waste for washer. Vent dryer to exterior of building.
	Hose Bib

General Symbols	
	2x4 stud wall - 2x4 studs @ 16" o.c. use treated lumber below floor plane and when in contact with masonry. Typical unless otherwise noted.
	2x6 stud wall - 2x6 studs @ 16" o.c. use treated lumber below floor plane and when in contact with masonry. Typical unless otherwise noted.
	Walls & Height to Feet & Inches
	Interior Doors
	Sliding Bypass Door
	Pocket Door
	Bi-Fold Door
	Detail Reference
	Bldg. Section Reference
	Keyed into Exterior Opening - Schedule by number
	Exterior Window
	Keyed into Exterior Opening - Schedule by number
	Exterior Door

Construction Notes	
1.	All interior walls are to be framed with 2x4 wood studs @ 16" o.c. unless otherwise noted on plan. All walls or sections of walls containing pocket doors are to be framed with 2x6 wood studs @ 16" o.c. See structural drawings for additional framing information.
2.	All interior walls to have sound batt insulation. Spray foam insulation at attic, batt insulation below first floor.
3.	For sizes of structural columns refer to Structural Drawings.
4.	HVAC Contractor to perform heat gain calculations based on volume, amount of glazing, type of glazing, and components which give off heat (A/V components, ice makers, appliances, etc.)
5.	All dimensions to face of stud, unless noted otherwise.
6.	Exterior windows and doors as selected by Owner. Refer to Plans for sizes.
7.	Exact cabinet layout and configuration by Others. Contractor to ensure window clearance of cabinet locations.
8.	Set door jamba 6" from corner, where possible.
9.	Builder to verify req'd clearances at elevator.

Date	Issued For	No.
May 29, 2018	Issued For Preliminary Submission	1
		2
		3

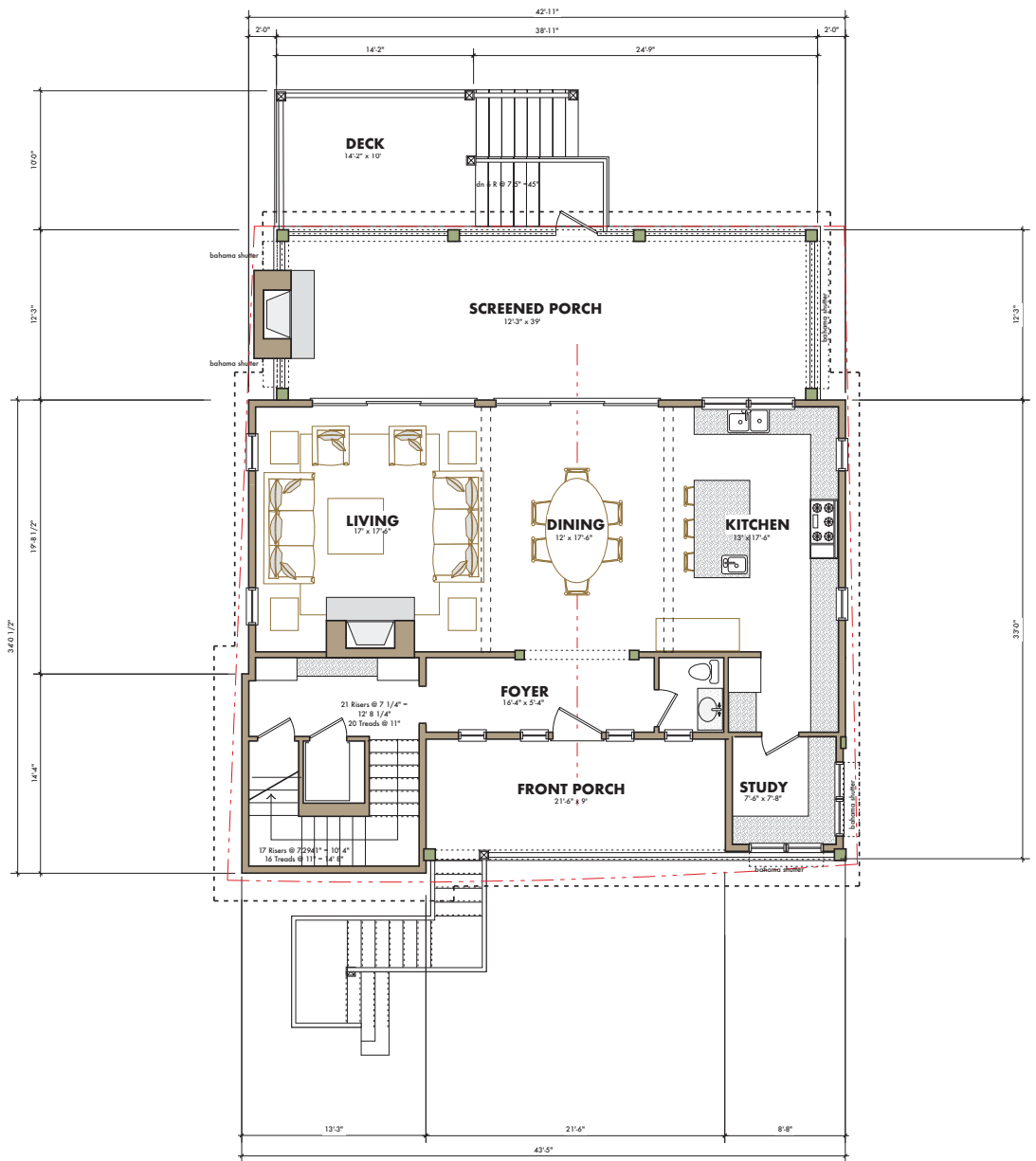
NOT A CONTRACT

SWALLOWTAIL ARCHITECTURE, LLC
RACHEL BEVERLY BURTON
No. 1483
Professional Seal

SWALLOWTAIL ARCHITECTURE, LLC
140851940 • swallowtailarch.com
818 Cole Ave, Ste 100, Greenville, SC 29615
May 29, 2018

TILLMAN RESIDENCE	
Plot Date	6/14/18
Checked	RB
Drawn	RB
Drawing Title	Ground Floor Plan
Drawing No.	A1.0

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1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

Plumbing Legend	
	Water Closet - Elongated Bowl
	Oval Lavatory
	Tub - With shower connections and shower rod
	Shower Stall
	Air Conditioning Condenser Unit
	Water Heater - tankless Kenall
	Double Sink - with disposal, under counter dishwasher
	Washer & Dryer - Connections with 1, 110 duplex, 1, 220 outlet, and hot and cold water and 1 1/2" vented waste for washer. Vent dryer to exterior of building.
	Hose Bib

General Symbols	
	2x4 stud @ 16" o.c. - use treated lumber below floor plane and when in contact with masonry. Typical unless otherwise noted.
	2x6 stud @ 16" o.c. - use treated lumber below floor plane and when in contact with masonry. Typical unless otherwise noted.
	Walls & Height to Feet & Inches
	Interior Doors
	Sliding Bypass Door
	Pocket Door
	Bi-Fold Door
	Detail Reference
	Bldg. Section Reference
	Keyed into Exterior Opening Schedules by number
	Exterior Window
	Keyed into Exterior Opening Schedules by number
	Exterior Door

- Construction Notes**
- All interior walls are to be framed with 2x4 wood studs @ 16" o.c. unless otherwise noted on plan. All walls or sections of walls containing pocket doors are to be framed with 2x6 wood studs @ 16" o.c. See structural drawings for additional framing information.
 - All interior walls to have sound batt insulation. Spray foam insulation at attic, batt insulation below first floor.
 - For sizes of structural columns refer to Structural Drawings.
 - HVAC Contractor to perform heat gain calculations based on volume, amount of glazing, type of glazing, and components which give off heat (A/V components, ice makers, appliances, etc.)
 - All dimensions to face of stud, unless noted otherwise.
 - Exterior windows and doors as selected by Owner. Refer to Plans for sizes.
 - Exact cabinet layout and configuration by Others. Contractor to ensure window clearance of cabinet locations.
 - Set door jamba 6" from corner, where possible.
 - Builder to verify req'd clearances at elevator.

First Floor Areas	
Heated area	1251 sq ft
front porch	126 sq ft
front stairs	103 sq ft
back porch	479 sq ft
back deck and stairs	266 sq ft
TOTAL FOOTPRINT:	2100 sq ft

Date	Issued For	No.	Stamps
May 29, 2018	Issued For Preliminary Submission	1	 NOT A CONTRACT DOCUMENT May 29, 2018
		2	
		3	

SWALLOWTAIL ARCHITECTURE, LLC
 ARCHITECTURE AND INTERIOR DESIGN
 818 Cole Ave, Ste 100, Greenville, SC 29615
 803.939.0300 • swallowtailarch.com

TILLMAN RESIDENCE
 818 Cole Ave, Ste 100, Greenville, SC 29615

Plot Date: 6/14/18
 Checked: RB
 Drawn: RB
 Drawing Title: First Floor Plan
 Drawing No.: **A1.1**

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1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

Plumbing Legend	
	Water Closet - Elongated Bowl
	Oval Lavatory
	Tub - With shower connections and shower rod
	Shower Stall
	Air Conditioning Condenser Unit
	Water Heater - tankless Resinai
	Double Sink - with disposal, under counter dishwasher; faucets selected by owner
	Washer & Dryer - Connections with 1, 110 duplex, 1, 220 outlet, and hot and cold water and 1 1/2" vented waste for washer. Vent dryer to exterior of building.
	Hose Bib

General Symbols	
	2x4 stud @ 16" o.c., use treated lumber below floor plate and when in contact with masonry. Typical unless otherwise noted.
	2x6 stud @ 16" o.c., use treated lumber below floor plate and when in contact with masonry. Typical unless otherwise noted.
	Width & height in feet & inches Interior Doors
	Sliding Bypass Door
	Pocket Door
	Detail Reference Sheet number Section number
	Blg. Section Reference Sheet number
	Keyed into Exterior Opening Schedule by number Exterior Window
	Keyed into Exterior Opening Schedule by number Exterior Door

Construction Notes	
1.	All interior walls are to be framed with 2x4 wood studs @ 16" o.c. unless otherwise noted on plan. All walls or sections of walls containing pocket doors are to be framed with 2x6 wood studs @ 16" o.c. See structural drawings for additional framing information.
2.	All interior walls to have sound batt insulation.
3.	For sizes of structural columns refer to Structural Drawings.
4.	HVAC Contractor to perform heat gain calculations based on volume, amount of glazing, type of glazing, and components which give off heat (A/V components, ice maker, appliances etc.)
5.	All dimensions to face of stud, unless noted otherwise.
6.	Exterior windows and doors as selected by Owner. Refer to Plans for sizes.
7.	Exact cabinet layout and configuration by Others. Contractor to ensure window clearance at cabinet locations.
8.	Set door jambs 6" from corner, where possible.
9.	Contractor to verify required clearances at elevator.

Second Floor Areas	
Total SF heated space	1488sq ft
Back Porch	203 sq ft

Date	Issued For	No.
May 29, 2018	Issued For Preliminary Submission	1
		2
		3

NOT FOR CONSTRUCTION

SWALLOWTAIL ARCHITECTURE, LLC

1118 Cole Lane, Swannell, VA 24183

May 29, 2018

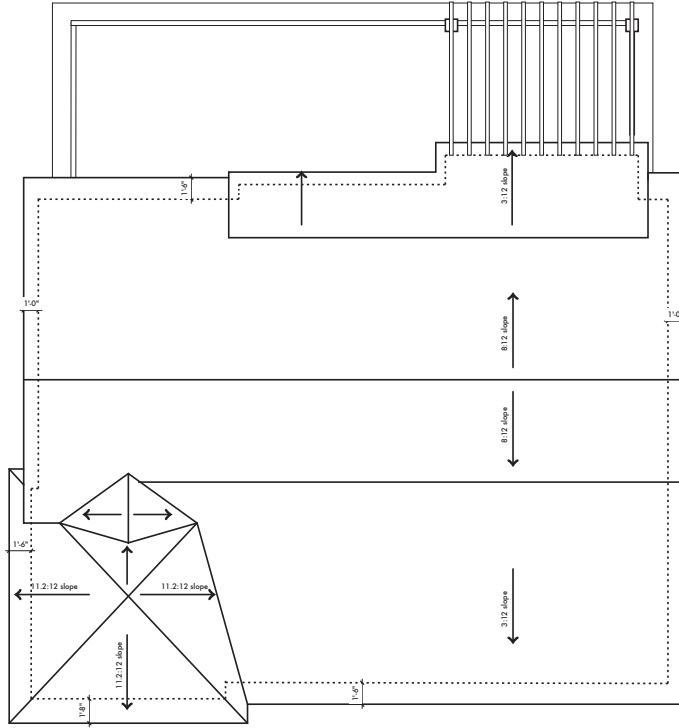
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ARCHITECTURE AND INTERIOR DESIGN

TILLMAN RESIDENCE
NEW CONSTRUCTION

PROJECT LOCATION: SCARBORO, SCARBORO ISLAND, SOUTH CAROLINA

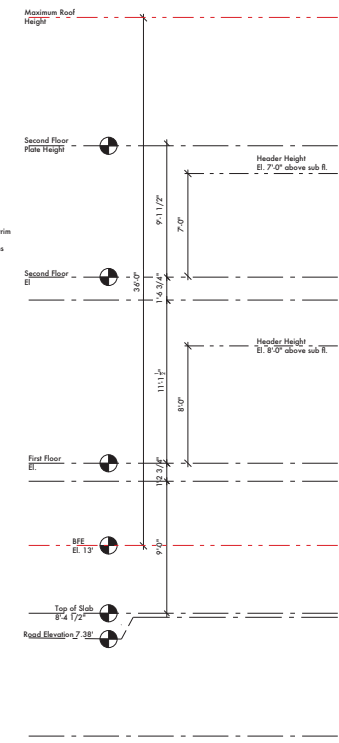
Plot Date	
Checked	6/14/18
Drawn	RB
Drawing Title	RB
Second Floor Plan	
Drawing No.	A1.2

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1 Roof Plan
Scale: 1/4" = 1'-0"

<p>TILLMAN RESIDENCE BLOCK 27 SUBDIVISION OF SEABROOK SEABROOK ISLAND South Carolina</p>		<p>SWALLOWTAIL ARCHITECTURE, LLC ARCHITECTURE AND INTERIOR DESIGN 40895940 • swallowtailarch.com 818 Cole Lane, Summerville, SC 29883</p>		<p>NOT A CONTRACT</p> <p>SWALLOWTAIL ARCHITECTURE, LLC SUMMERVILLE, SC 29883 No. 100780 May 29, 2018</p>		<p>NOT A CONTRACT</p> <p>RACHEL REISER BURTON No. 448 May 29, 2018</p>		<p>Used For Issued For Preliminary Submission</p>	<p>Date May 29, 2018</p>
<p>Plot Date 6/14/18</p>		<p>Checked RB</p>		<p>Drawn RB</p>		<p>Drawing Title Roof Plan</p>		<p>No. 1 2 3</p>	<p>Stamps</p>
<p>Drawing No. A1.4</p>		<p>The information illustrated on this drawing was created specifically for this Client for this project on this site, and may not be used for any other purpose without the legal permission granted through this Project without the consent of the Architect. This drawing may not be reproduced without the written permission of Swallowtail Architecture, LLC. © 2017 Swallowtail Architecture, LLC</p>							



1 Front Elevation
Scale: 1/4" = 1'-0"

No.	Issued For	Date
1	Issued For Preliminary Submission	May 29, 2018
2		
3		

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PROFESSIONAL ARCHITECTURE AND INTERIOR DESIGN

SWALLOWTAIL ARCHITECTURE, LLC
1408 BAYVIEW BLVD., SUITE 100
SUMMERVILLE, SC 29583
818 Lake Jones, Summerville, SC 29583

TILLMAN RESIDENCE
BLOCK 27
SUBDIVISION OF SEABROOK SEABROOK ISLAND
South Carolina

Plot Date: 6/14/18

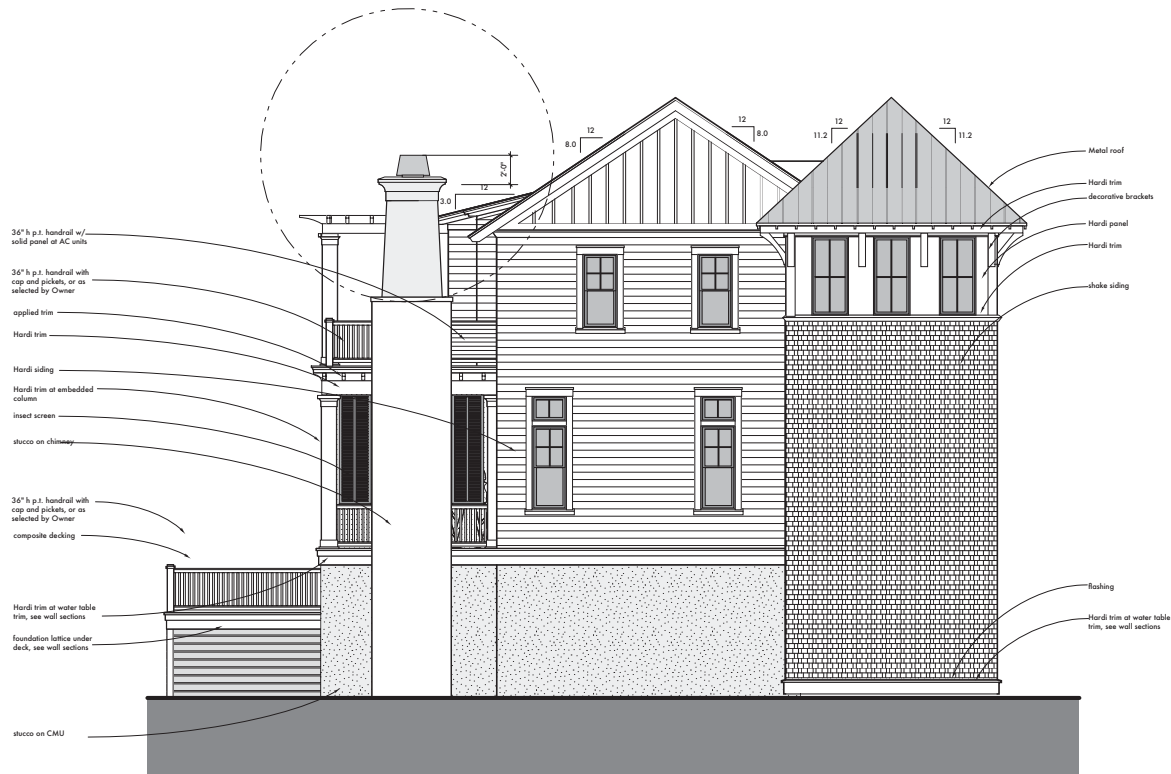
Checked: RB

Drawn: RB

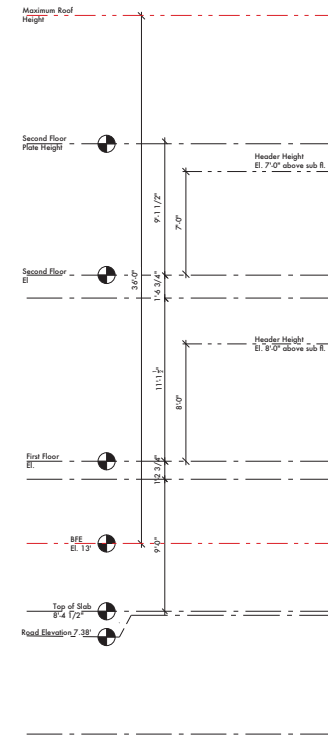
Drawing Title: Front Elevation

Drawing No. **A2.0**

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1 Left Side Elevation
Scale: 1/4" = 1'-0"



No.	Issued For	Date
1	Issued For Preliminary Submission	May 29, 2018
2		
3		

Stamps

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RACHEL BEVERLY BURTON
No. 100700

SWALLOWTAIL ARCHITECTURE, LLC
Stamminville, SC

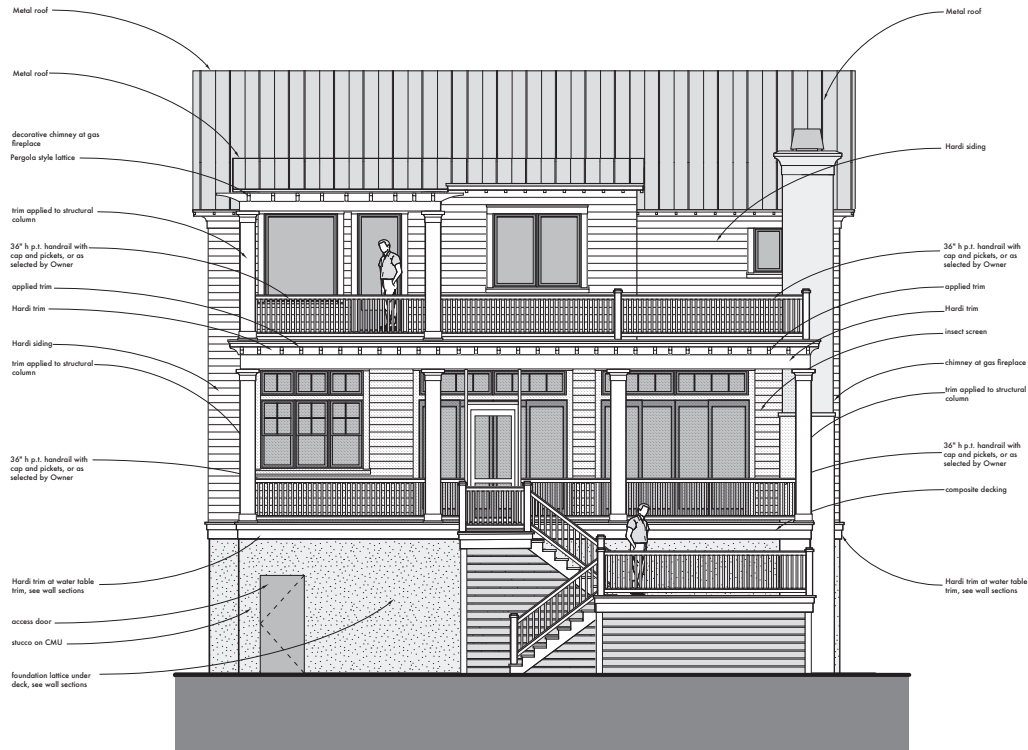
May 29, 2018

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818 Cole Ave, Summerville, SC 29983

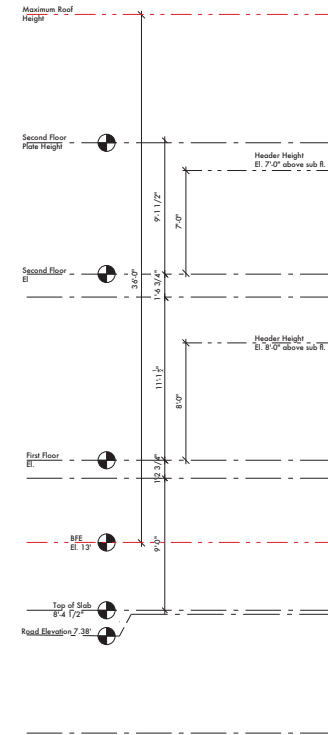
TILLMAN RESIDENCE
BLOCK 27
VILLAGE OF SEABROOK, SEABROOK ISLAND
South Carolina

Plot Date	6/14/18
Checked	RB
Drawn	RB
Drawing Title	Left Side Elevation
Drawing No.	A2.1

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1 Rear Elevation
Scale: 1/4" = 1'-0"



Date	Issued For	No.	Stamps
May 29, 2018	Issued For Preliminary Submission	1	
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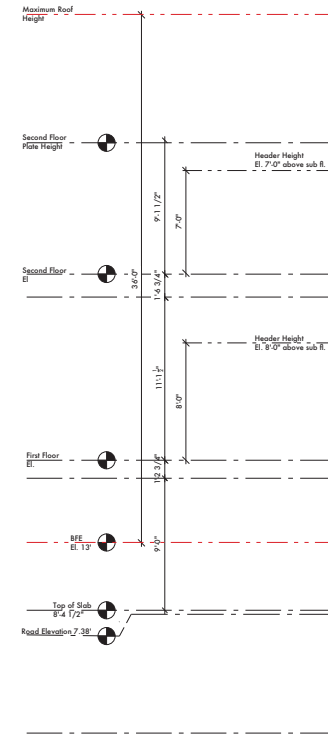
SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
40881940 • swallowtailarch.com
818 Cole Ave, Summerville, SC 29153

TILLMAN RESIDENCE
NEW CONSTRUCTION
BLOCK 27
VILLAGE OF SEABROOK, SEABROOK ISLAND
South Carolina

Plot Date	6/14/18
Checked	RB
Drawn	RB
Drawing Title	Rear Elevation

Drawing No. **A2.2**

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Date	May 29, 2018
Issued For	Issued For Preliminary Submission
No.	1 2 3

NOT A CONTRACT
 RACHEL BURTON
 SWALLOWTAIL ARCHITECTURE, LLC
 818 Cole Ave, Summitville, NC 27883
 May 29, 2018

TILLMAN RESIDENCE
 SWALLOWTAIL ARCHITECTURE, LLC
 ARCHITECTURE AND INTERIOR DESIGN
 818 Cole Ave, Summitville, NC 27883
 818 Cole Ave, Summitville, NC 27883

Plot Date: 6/14/18
 Checked: RB
 Drawn: RB
 Drawing Title: Right Side Elevation
 Drawing No. **A2.3**

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Front Elevation sketch 1
see elevations for accurate window layout

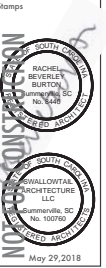


Front Elevation sketch 2
see elevations for accurate window layout



Front Elevation with Shadows

Date	Issued For	No.
May 29, 2018	Issued For Preliminary Submission	1
		2
		3



May 29, 2018

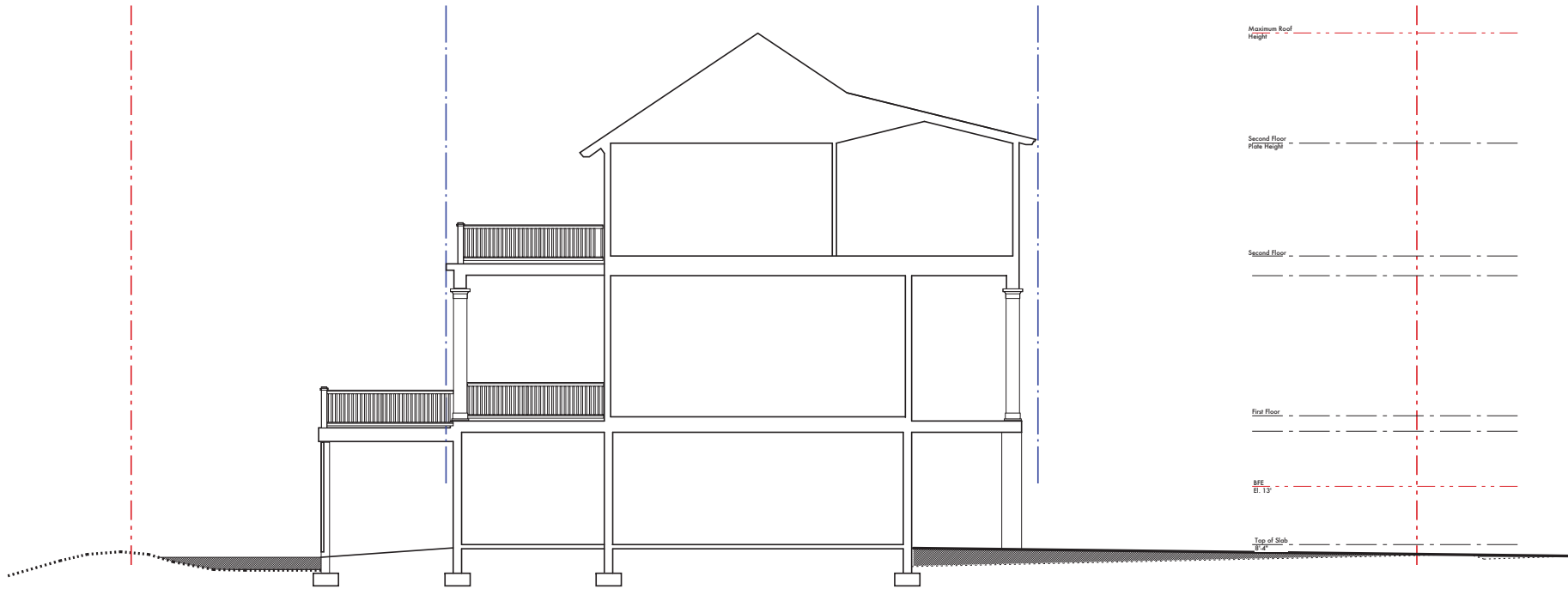


TILLMAN RESIDENCE
NEW CONSTRUCTION
BLOCK 27
VILLAGE OF SEABROOK, SEABROOK ISLAND
South Carolina

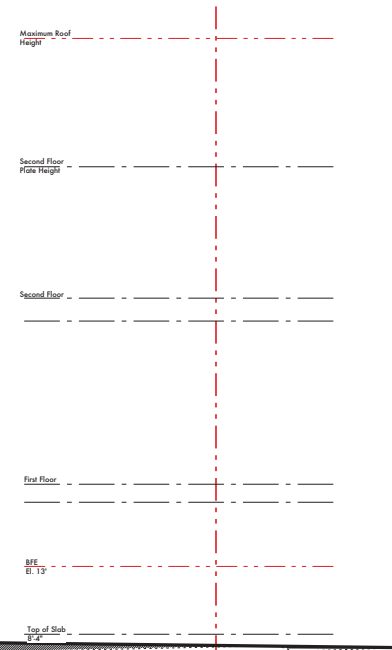
Plot Date	6/14/18
Checked	RB
Drawn	RB
Drawing Title	Front Elevation with Shading

Drawing No.
A2.4

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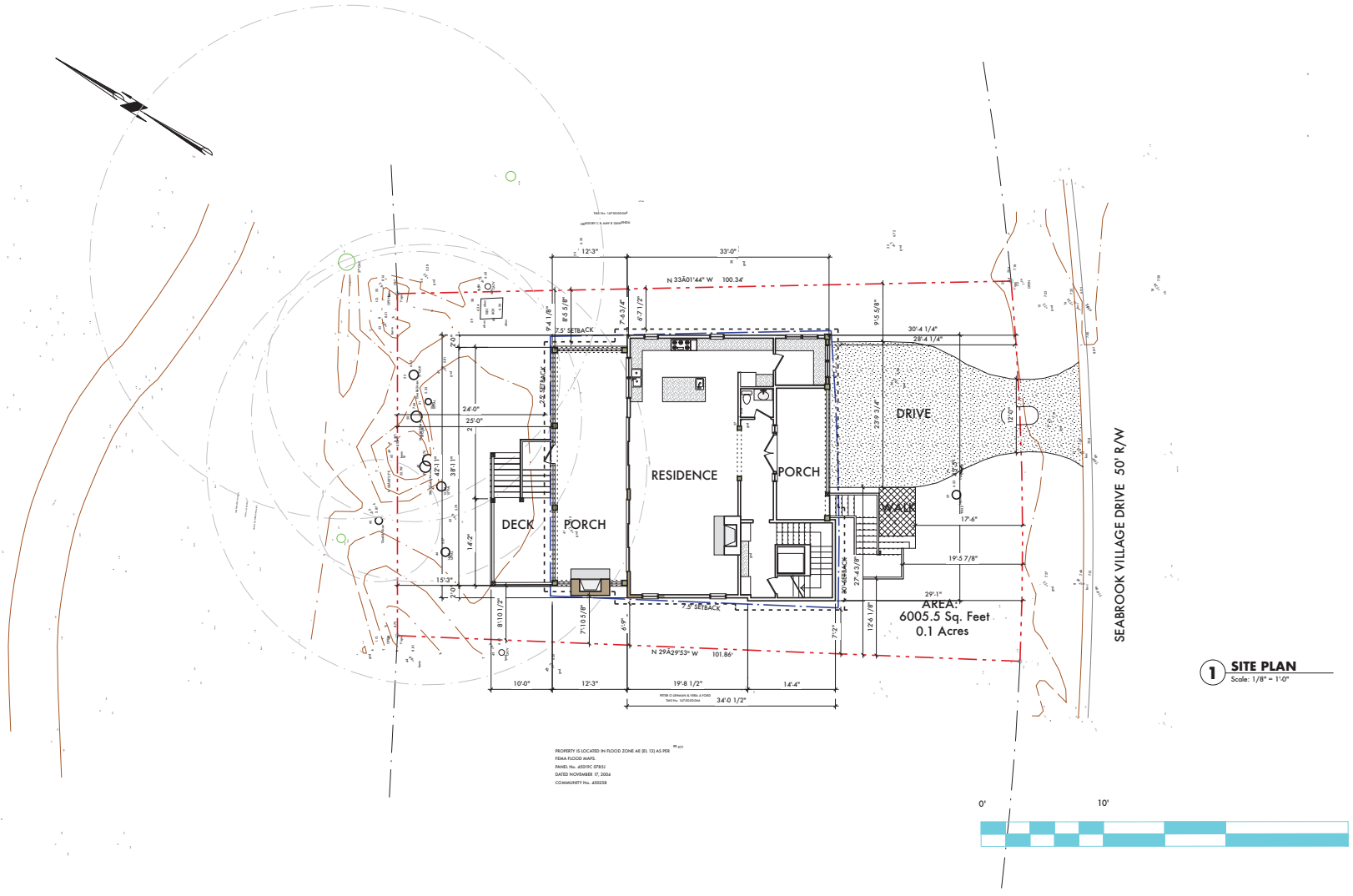
1 Left Side Elevation
Scale: 1/4" = 1'-0"



Date May 29, 2018	
Issued For Issued For Preliminary Submission	
No.	
1	
2	
3	
Stamps	
<p>NOT FOR CONSTRUCTION</p>	
<p>SWALLOWTAIL ARCHITECTURE, LLC ARCHITECTURE AND INTERIOR DESIGN 100899403 • swallowtailva.com 818 Cole Ave, Sennett, VA 24603</p>	
<p>TILLMAN RESIDENCE NEW CONSTRUCTION BLOCK 17 VILLAGE OF SEABROOK, SEABROOK ISLAND South Carolina</p>	
Plot Date	6/14/18
Checked	RB
Drawn	RB
Drawing Title	
<p>Site Section</p>	
Drawing No.	A3.0

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ZONING SEABROOK ISLAND		Set Backs:	COVERAGE:	Impervious Area:
Owner: Krista nd Paul Tillman	Address: Lot B7 Villages at Seabrook	Front Set Back 30'	Proposed House Areas:	Total Home Footprint 2059sq ft
Lot Area: 6005.5 sq ft	Flood Zone: AE13	Side Set back 7.5'	Heated area 1229 sq ft	Drive 620 sq ft
FIRM Panel 45019C 0785J	COMMUNITY No. 450258	Rear Set back 25'	front porch 126 sq ft	Sidewalk 47 sq ft
Dated Nov 17, 2004	TMS: 147-00-00-065	Maximum Height Allowed:36'	back porch 479 sq ft	
		Provided: 35'11"	back deck and stairs 225 sq ft	
			Total 2059 sq ft	



1 SITE PLAN
Scale: 1/8" = 1'-0"

PROPERTY IS LOCATED IN FLOOD ZONE AE 13 AS PER
FIRM FLOOD MAP:
FIRM No. 45019C 0785J
DATED NOVEMBER 17, 2004
COMMUNITY No. 450258

Date	Issued For	No.	Stamps
May 29, 2018	Issued For Preliminary Submission	1	
		2	
		3	

SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
40893903 • swallowtailarch.com
818 Cole Lane, Summerville, SC 29983

TILLMAN RESIDENCE
NEW CONSTRUCTION
BLOCK B7
VILLAGE AT SEABROOK, SEABROOK ISLAND
South Carolina

Plot Date	6/14/18
Checked	RB
Drawn	RB
Drawing Title	Site Plan

Drawing No.
C1.0

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SEABROOK ISLAND
Property Owners Association

*1202 Landfall Way * Johns Island, SC 29455 * 843-725-1560 * kburrell@sipoa.org*

June 22, 2018

Joseph M. Cronin
Town Administrator
Town of Seabrook Island
2001 Seabrook Island Road
Seabrook Island, SC 29455

VIA email: jcronin@townofseabrookisland.org

Re: The Village at Seabrook – “Swallowtail 1” Plan

Dear Mr. Cronin:

Pursuant to the requirements of the Seabrook Island Property Owners Association Policies and Procedures for Residential Development, the Architectural Review Committee (ARC) reviewed and approved the following design plans which will henceforth be referred to as “Swallowtail 1” for the Village at Seabrook:

“Swallowtail 1” prepared by Rachel Burton, Architect, dated 6/14/18”

Please contact me if you need any additional information.

Very truly yours,

Katrina Burrell, CMCA, AMS
Architectural Review Administrator

Enclosures: 2

cc: The Village Approved Plans (Master File)
Rachel Burton / Swallowtail Architecture
Paul and Krista Tillman / Owners of 3036 Seabrook Village Drive
The Village at Seabrook Regime Management and Board



S E A B R O O K I S L A N D
Property Owners Association

*1202 Landfall Way * Johns Island, SC 29455 * 843-725-1560 * kburrell@sipoa.org*

June 22, 2018

Rachel Burton
Swallowtail Architecture
814 N. Cedar Street
Summerville, SC 29483

VIA email: rachel@swallowtailarchitecture.com

Re: The Village at Seabrook – “Swallowtail 1” Plan

Dear Ms. Burton:

Pursuant to the requirements of the Seabrook Island Property Owners Association Policies and Procedures for Residential Development, the Architectural Review Committee (ARC) reviewed and approved the following motion and notes regarding the design plans which will henceforth be referred to as “Swallowtail 1” for the Village at Seabrook:

“Architect Rachel Burton presented a new design “Swallowtail 1” as a pre-approved house design option for the Village at Seabrook. Discussed were the modifications that were made to incorporate the comments from the June 05, 2018, ARC meeting which consisted of clarifying the graphic representation of the exposed rafter tails, lowering the rear deck, continuing the front porch railing along the front elevation, altering the chimney height, and screening around the HVAC.

... moved to approve the “Swallowtail 1” prepared by Rachel Burton, Architect, as a house plan option for the Village at Seabrook and to recommend the pre-approved house design to the Town of Seabrook Island. The motion was seconded by ... and passed unanimously.¹

The approved plans are:

“Swallowtail 1” prepared by Rachel Burton, Architect, dated 6/14/18

¹ In addition to the requirements detailed in this motion, all improvements must also comply with the applicable version of the SIPOA ARC Policies and Procedures. The omission of any stipulation or requirement of the Policies and Procedures is not a waiver of said requirement.”

Please contact me if you need any additional information.

Very truly yours,



Katrina Burrell, CMCA, AMS
Architectural Review Administrator

cc: The Village Approved Plans (Master File)
Paul and Krista Tillman / Owners of 3036 Seabrook Village Drive
The Village at Seabrook Regime Management and Board
The Town of Seabrook Island

Joe Cronin

From: Cathy Patterson <pncpatt@aol.com>
Sent: Thursday, July 05, 2018 3:44 PM
To: Joe Cronin
Subject: Fwd: V@S Tillman House Plans 3036 SVD #201801006

Here is the official V@S Board of Directors approval for the design of the Tillman House Plans (Swallowtail-1), which was sent in June to Katrina. Is this all you need??

Cathy Patterson V@S Pres.

-----Original Message-----

From: Cathy Patterson <pncpatt@aol.com>
To: kburrell <kburrell@sipoa.org>
Cc: jwvincent <jwvincent@outlook.com>; dr_rww <dr_rww@hotmail.com>; krista.tillman <krista.tillman@gmail.com>; ccrawford <ccrawford@ravenelassociates.com>
Sent: Wed, Jun 13, 2018 3:33 pm
Subject: V@S Tillman House Plans 3036 SVD #201801006

Katrina,

This is the official V@S Board of Directors approval for the design of the Tillman House Plans. Though we liked the vintage looking chimney top, it is the village standard that all chimney tops have a shroud the color of the roof. Also once this design plan is approved by the ARC and Planning Commission, the copyright to this design can be purchased from the Architect by other owners looking to build in the village, but not on either side of the Tillman's. Hope this makes it to the next ARC meeting and PC meeting..

Cathy Patterson- President V@S



MEMORANDUM

TO: Town of Seabrook Island Planning Commission Members
FROM: Joseph M. Cronin, Town Administrator
SUBJECT: Temporary Use Request for the 2018 Alan Fleming Tennis Tournament
MEETING DATE: July 18, 2018

The Planning Commission is asked to review and provide a recommendation to Town Council on a temporary use permit request from the Seabrook Island Racquet Club for the 2018 Alan Fleming Tennis Tournament. This year's tournament is scheduled to take place between October 2nd and 7th at the Seabrook Island Racquet Club (1701 Long Bend Drive). A copy of the application has been included for review.

During the event, the applicants are requesting approval to erect a 20' x 30' frame tent on the Racquet Club front lawn to provide shade relief to players and volunteers. The applicants are also requesting approval for three banner flags to be placed for advertising purposes.

Staff Recommendation

Staff recommends in favor of approving the temporary use permit, with the following condition:

- For public safety and emergency access purposes, no vehicle parking shall be permitted within the right-of-way of any public or private street, and sufficient space shall be provided at all access points to ensure access for emergency vehicles.
- No signs or banners related to the event shall be placed in a location that obstructs the view of motorists or pedestrians.

Respectfully submitted,

Joseph M. Cronin
Town Administrator/Zoning Administrator

TEMPORARY USE APPLICATION/PERMIT

TOWN OF SEABROOK ISLAND

Date 7/11/18

Applicant name Seabrook Islands Racquet Club ^{c/o Mike Kiser} Phone 768-7810 No. _____

Address 1701 Long Barn Drive

Description of property Racquet Club Front Lawn Area

Exact temporary use requested Erect 20X30 Frame tent on Racquet Club front lawn to provide shade relief for players during lunch hours at the Fleming Championship. Three banner flags to be placed for advertising/promotional purpose. Location may vary between Racquet Club entrance at Long Barn Drive & Seabrook Island Rooms and reception center front lawn located just outside the gate
(If more space needed attach sheet)

Responsible party Seabrook Island Club ^(Please print) c/o Mike Kiser

Dates of temporary use Tuesday, October 2nd - Sunday, October 7th ^{October 2-7}

Date site to be restored Monday, October 8th

This permit is valid for a maximum of 72 hours. For periods longer than 72 hours this application must be approved by Town Council.

Town Council approval _____

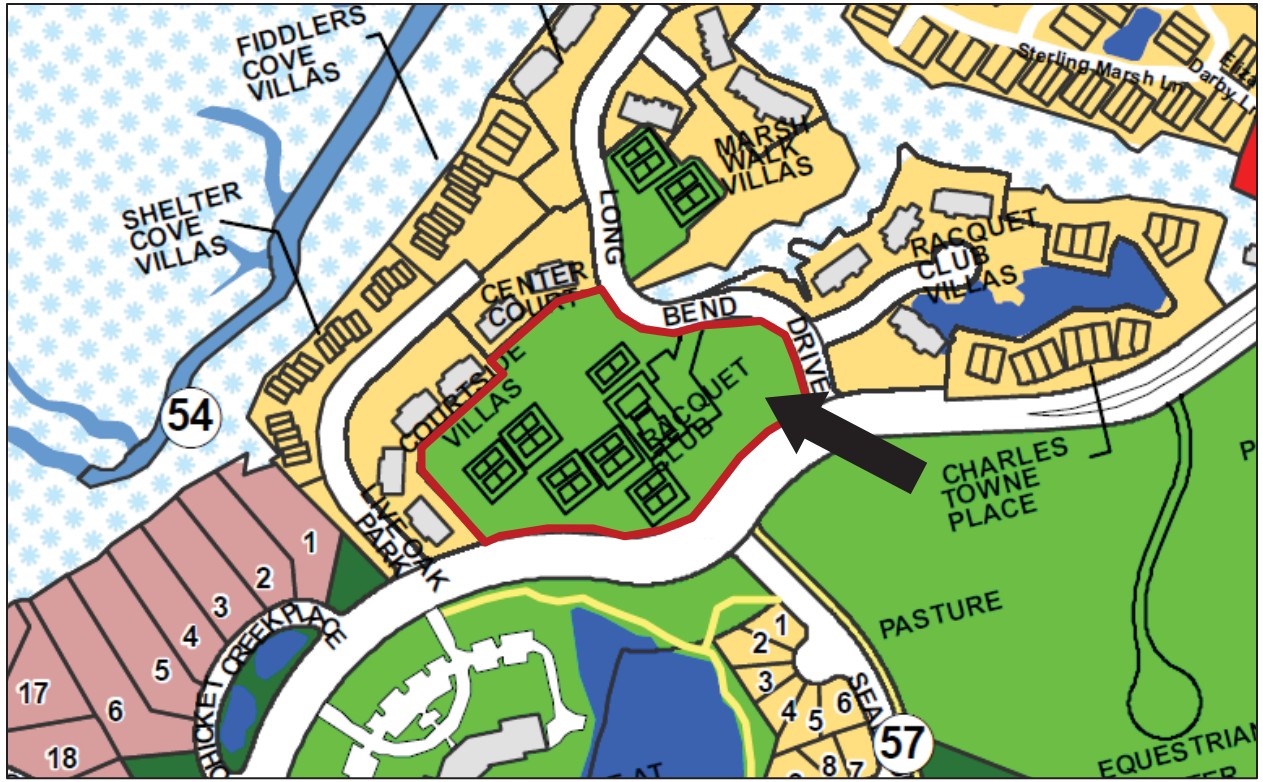
Conditions, if any _____

Mike Kiser
Applicant's signature

Zoning Administrator

Mike Kiser
(Please print signature)

Zoning Map



Aerial Image



TOWN OF SEABROOK ISLAND COMMUNITY SURVEY

THIS SURVEY IS AN OPPORTUNITY FOR THE SEABROOK ISLAND COMMUNITY TO PROVIDE IMPORTANT INPUT INTO THE 2019 TOWN OF SEABROOK ISLAND COMPREHENSIVE PLAN UPDATE. THE INPUT GATHERED THROUGH THIS SURVEY IS VITAL TO ENSURING THAT THE TOWN'S 2019 COMPREHENSIVE PLAN REFLECTS THE VISION AND GOALS OF THE SEABROOK ISLAND COMMUNITY.

DEMOGRAPHIC INFORMATION

1. What is your age?

Mark only one oval.

- 18 and under
- 19-29
- 30-39
- 40-49
- 50-59
- 60-69
- 70-79
- 80 and older

2. What is your gender?

Mark only one oval.

- Male
- Female

3. Do you live (full-time or part-time) in the Seabrook Island Town Limits?

Mark only one oval.

- Yes *Skip to question 4.*
- No *Skip to question 8.*

TOWN RESIDENT INFORMATION

4. As a Seabrook Islander, are you..

Mark only one oval.

- A full-time resident and property owner
- A part-time resident and property owner
- A full-time resident and not a property owner
- A part-time resident and not a property owner
- Other: _____

5. How long have you lived on Seabrook Island (including full and/or part-time)?

Mark only one oval.

- 0 - 5 Years
- 6 - 10 Years
- 11 - 15 Years
- 16 - 20 Years
- More than 20 Years

6. How many adults live in your household?

Mark only one oval.

- 1
- 2
- 3
- 4 or more

7. How many children live in your household?

Mark only one oval.

- 0
- 1
- 2
- 3
- 4 or more

COMMUNITY PRIORITIES

8. What do you love most about living on Seabrook Island? (75 character limit)

9. What are Seabrook Island's most immediate challenges (75 character limit)

10. Which of the following should be the Town's most important priorities? (Please select three)

Check all that apply.

- Healthy and clean environment
- Vibrant sustainable economy
- Access to "quality of life" amenities
- Safe and prepared community
- Adequate infrastructure
- Quality of development and redevelopment
- Quality and responsive Town service
- Town growth through annexation (outside of gates)
- Mobility and connectivity options
- Equity and social justice

11. Please indicate your level of satisfaction regarding the following:

Mark only one oval per row.

	Very satisfied	Satisfied	Neutral	Dissatisfied	Very Dissatisfied
Overall quality of life in the Town	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Overall quality of amenities including community facilities	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
The existing road network	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
The existing external road network to travel to and from the Town	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Access to fire and emergency services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

12. The Town of Seabrook Island, the Seabrook Island Property Owners Association and the Seabrook Island Club each play important roles in the operation and maintenance of the many community amenities and natural resources available on Seabrook Island. Please indicate your level of satisfaction regarding the following:

Mark only one oval per row.

	Very satisfied	Satisfied	Neutral	Dissatisfied	Very Dissatisfied	N/A
The Lake House	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Oyster Catcher Community Center and Property Owners Pool	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
The beaches and boardwalks	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
The lakes and trails	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
The bicycle paths	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
The golf, tennis and equestrian facilities	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Boat and RV Storage	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Access and conservation of the natural resources	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

RESIDENTIAL DEVELOPMENT

13. What is your opinion of the overall quality of residential development in the Town?

Mark only one oval.

- Exceptional
- Above average
- Average
- Below Average
- Poor

14. Is there a need for more residential development or redevelopment?

Mark only one oval.

- Yes *Skip to question 15.*
- No, current residential development is about right *Skip to question 16.*
- No, there is already too much residential development *Skip to question 16.*
- No opinion *Skip to question 16.*

15. What type of additional residential development do you feel is needed?

Mark only one oval per row.

	Much needed	Needed somewhat	Not sure	Not needed
Single-family homes	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Large estate homes	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Townhomes	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Apartments	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Condominiums	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Assisted-living	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

COMMERCIAL DEVELOPMENT

16. What is your opinion of the overall quality of commercial development in or near the Town?

Mark only one oval.

- Exceptional
- Above average
- Average
- Below Average
- Poor

17. Is there a need for more commercial development in or near the Town?

Mark only one oval.

- Yes *Skip to question 18.*
- No, current commercial development is about right *Stop filling out this form.*
- No, there is already too much commercial development *Stop filling out this form.*
- No opinion *Stop filling out this form.*

18. What types of additional businesses do you feel are needed?*Mark only one oval per row.*

	Much needed	Needed somewhat	Not sure	Not needed
Service (pet-care, plumbing, catering...)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Retail stores and shops	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Leisure (hotels, cafes, restaurants)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Professional Office (accounting, real estate...)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Healthcare (medical office, medical center, hospital)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

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