

TOWN OF SEABROOK ISLAND

Planning Commission Special Called Meeting
September 26, 2018 – 1:30 PM

Town Hall, Council Chambers
2001 Seabrook Island Road



AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. **Special Called Meeting: July 18, 2018** *[Pages 3–9]*
2. **Special Called Meeting: August 15, 2018** *[Pages 10–18]*

OLD BUSINESS ITEMS

1. **Architectural Review: SI Club Equestrian Center Expansion (Amended)** *[Pages 19–58]*

Request from the Seabrook Island Club to approve amendments to proposed modifications to the existing Equestrian Center barn located at 2313 Seabrook Island Road

NEW BUSINESS ITEMS

1. **Architectural Review: SIPOA Storage Building** *[Pages 59–85]*

Request from the Seabrook Island Property Owners Association to approve construction of a proposed storage building at 2832 Seabrook Island Road

2. **Text Amendment: Requirements for Walls and Fences** *[Pages 86–90]*

An ordinance amending the Development Standards Ordinance of the Town of Seabrook Island, South Carolina; Article 10, Buffers, Landscaping and Tree Protection; Section 10.60, Specifications for Walls, Fences and Hedges; so as to amend the general requirements for walls and fences

ITEMS FOR INFORMATION / DISCUSSION

1. **Discussion of meeting format and voting procedure regarding the pending encroachment permit application**

2. Upcoming Meeting Dates

ADJOURN

TOWN OF SEABROOK ISLAND

Planning Commission Special Called Meeting
July 18, 2018 – 1:30 PM



Town Hall, Council Chambers
2001 Seabrook Island Road

MINUTES

Present: Robert Driscoll (Chair), Cathy Patterson, Wayne Billian, Ken Otstot, Joe Cronin (Town Administrator)

Absent: Lori Leary

Guests: Dan Frazier (Charleston County), Andrea Pietras (Charleston County), Rachel Burton (Swallowtail Architecture), Ray Pantlik (Atlantic Partners II LLC), Mark Permar (Permar Inc.), Richard Ackerman (Big Rock Partners LLC), Katrina Burrell (SIPOA)

Chairman Driscoll called the meeting to order at 1:39 pm. Town Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled, and the meeting agenda was properly posted.

OLD BUSINESS ITEMS

There were no Old Business Items.

NEW BUSINESS ITEMS

1. **Architectural Review: The Village at Seabrook (Swallowtail 1):** Town Administrator Cronin provided a brief overview of the request, the purpose of which was to review and approve a new single-family home elevation for use in the Village at Seabrook. Town Administrator Cronin stated that the proposed "Swallowtail 1" model, which was prepared by Rachel Burton of Swallowtail Architecture, had been reviewed and approved by both the Village at Seabrook Regime Board, as well as the SIPOA Architectural Review Committee. Town staff recommended in favor of approval.

Ms. Patterson stated that she was the president of the Village at Seabrook Board and, therefore, would be recusing herself from voting on this item. (*See attached recusal statement.*)

Mr. Otstot made a motion to approve the Swallowtail 1 model, as submitted. Chairman Driscoll seconded the motion. The motion was approved by a vote of 2-0, with Ms. Patterson recusing.

- 2. Temporary Use Permit: 2018 Alan Fleming Tennis Tournament:** Town Administrator Cronin provided a brief overview of the request, the purpose of which was to review and provide a recommendation to Town Council on a temporary use permit request for the 2018 Alan Fleming Tennis Tournament. Town Administrator Cronin stated that the event would take place from October 2-7 at the Seabrook Island Racquet Club (1701 Long Bend Drive). The applicants were requesting approval to place a 20' x 30' tent on the property, as well as three temporary banner signs. Mr. Otstot made a motion to recommend in favor of granting the temporary use permit. Ms. Patterson seconded the motion. The motion was approved by a vote of 3-0.

Mr. Billian joined the meeting at 2:00 pm.

ITEMS FOR INFORMATION / DISCUSSION

- 1. Seabrook Island Road Encroachment Permit Request:** Town Administrator Cronin stated that the town had received an encroachment permit application from Atlantic Partners II LLC to install a driveway connection on Seabrook Island Road. The driveway was proposed to be located between the traffic circle and the former Miss Lulu's and would serve a future senior living facility adjacent to Freshfields Village. He stated that the town's Development Standards Ordinance places approval authority for encroachment permits under the Planning Commission's purview, and that any appeals of the Planning Commission's decision would be made to Town Council for a de novo review.

Ray Pantlik of Atlantic Partners II LLC was asked to provide a brief overview of the request. Mr. Pantlik introduced himself, as well as Mark Permar of Permar Inc., and Richard Ackerman of Big Rock Partners LLC. Mr. Pantlik stated that Atlantic Partners II LLC was the current owner of the property, and that Big Rock Partners LLC would develop the facility. Mr. Pantlik stated that, in consultation with town staff, and as a requirement of the town's ordinance, a traffic impact analysis (TIA) was completed by the engineering firm of Thomas & Hutton during the week of Memorial Day. The TIA found that the anticipated traffic volumes related to the facility (daily: 632 trips; hourly: 16 AM peak enter, 20 AM peak exit, 24 PM peak enter and 24 PM peak exit) would result in no degradation to the existing level of service on Seabrook Island Road. The study also determined that no off-site improvements were warranted based on current and projected traffic volumes, inclusive of an assumed background growth of 1% per year.

Mr. Permar provided a brief history of the Freshfields project and discussed the existing entitlements under the Freshfields PUD. He stated that the PUD allows up to 480,000 square feet of commercial development, up to 100 hotel rooms and up to 200 dwelling units. To date, 227,500 square feet of commercial development has been built by (or committed to) Northwoods for Freshfields Village, and 100 rooms/72,500 square feet of commercial has been committed for the Andell Inn. This leaves Atlantic Partners II LLC with 180,000 square feet of commercial entitlements, as well as 200 dwelling units. As part of the proposed senior living project, the developer is seeking to construct a continuing care retirement community (CCRC) with independent living units, assisted living units, and memory care beds.

Chairman Driscoll asked who holds the residual entitlements. Mr. Permar responded that Atlantic Partners II LLC holds the residual entitlements, including any remaining commercial square footage and residential dwelling units. Chairman Driscoll then asked what the plans were for the remaining property between the proposed senior facility and the lake. Mr. Permar responded that there were no current plans, but that residential units would be the most probable use.

Mr. Billian asked if it would be possible to access the senior facility across the lake, rather than via a new curb cut on Seabrook Island Road. Mr. Permar responded that connecting a road across the lake would be difficult, but that there was potential for a pedestrian bridge.

Mr. Permar provided a brief overview of the conceptual designs for the site plan and building. He then introduced Richard Ackerman of Big Rock Partners LLC.

Mr. Ackerman introduced himself and his company to members of the Planning Commission. He stated that Big Rock is based in Delray Beach, FL, and Beverly Hills, CA, and has built two similar CCRC's, including the Windsor at Celebration project in the Disney master-planned community of Celebration, FL. He stated that the project would include independent living apartments, assisted living, and memory care units (which would be fully secured with a full-time staff). He added that Big Rock emphasizes socialization and interaction among residents by focusing on amenities such as food, technology, fitness and entertainment. He added that, unlike most facilities, their communities are not designed to be institutional in nature. He also stated that Iowa-based Life Care Services would manage the facility.

Chairman Driscoll asked if someone could speak to the operations and staffing of the facility. Mr. Ackerman responded that the facility would have approximately 100 employees, adding that they would work in shifts, so not all 100 would be coming and going at the same time. There are expected to be three shifts for nurses and two shifts for kitchen and wait staff. Administrative, sales and HR staff would generally keep a 9:00-5:00 schedule, while housekeeping staff would be present six days per week. There would be additional staff for drivers and security. He noted that independent living, which made up the largest component of the project, was not staff intensive.

Chairman Driscoll asked how medical treatment would be provided at the facility. Mr. Ackerman responded that there would be nursing staff on site, but not emergency medical services. These would be provided by Charleston County EMS. Chairman Driscoll followed up by asking if Seabrook Island Road would be the probable access point for emergency vehicles. Mr. Ackerman responded that this would be up to the ambulance drivers, but that it was likely given that Seabrook Island Road would be the shortest and most direct route.

Ms. Patterson asked how the facility would be promoted. Mr. Ackerman responded that there are no other senior facilities between Kiawah Island and Hilton Head Island, and that there was only one other facility between Charleston and Kiawah Island. He added that they were anticipating up to 80% of their residents would be residents of Seabrook Island and Kiawah Island, or parents of town residents.

Chairman Driscoll asked for the total amount of impervious area. Mr. Permar responded that he wasn't sure of the pervious and impervious calculations, but that he would obtain that information and share it with members of the Planning Commission.

Chairman Driscoll asked about the stormwater drainage plans, adding that he was concerned about potential impact to Seabrook Island Road. Mr. Permar responded that the plans called for stormwater to flow to the existing lake behind the property. He added that the pond was sized for 20% more than what was entitled for Freshfields Village and the neighboring Haulover Creek development. Mr. Pantlik stated that the site development plans were submitted to SCDHEC yesterday for NPDES permitting. Mr. Pantlik also noted that all water would flow southward away from Seabrook Island Road, first to the existing lake, and then across drainage easements before entering Brick Creek.

Ms. Patterson asked who would be providing sewer service to the property. Mr. Pantlik responded that sewer service would be provided by the Seabrook Island Utility Commission, as part of a previous agreement.

Mr. Billian asked why the site plan did not include turn lanes on Seabrook Island Road. Mr. Pantlik responded that the TIA showed that turn lanes weren't warranted due to current volumes, as well as projected impact from the new facility.

Chairman Driscoll noted that traffic turning left into the property would cross a bike and pedestrian pathway. In addition to creating safety concerns, this would also slow left turning traffic.

Mr. Billian asked whether the property would be connected internally to the remainder of Freshfields Village. Mr. Permar responded that there would be an internal road connection between the property and Freshfields Village. This connection was proposed to help traffic flow between the two properties. Town Administrator Cronin noted that from a planning standpoint, an internal connection point was preferable as it would eliminate the need for traffic moving between the senior facility and Freshfields to use Seabrook Island Road. Mr. Billian stated that this connection could also invite more cut-through traffic from Seabrook Island residents.

Ms. Patterson mentioned the frequent road closures in Freshfields due to concerts, festivals and other events. She too had concerns about this access point serving as a cut through.

Mayor Ciancio, who was in the audience, stated that while senior housing is a preferable use from a traffic standpoint, it doesn't benefit the residents of Seabrook Island.

Chairman Driscoll asked whether there would be any impact to existing utilities located along Seabrook Island Road. Mr. Pantlik responded that there is an existing utility easement that runs parallel to Seabrook Island Road. Therefore, no utilities would need to be relocated or disturbed.

Mr. Otstot asked what the timeframe would be for construction of the facility. Mr. Ackerman responded that it would take approximately 22 months to complete construction. Mr. Otstot then asked whether construction vehicles and equipment could access the property from an alternate location. Mr. Pantlik noted that the only other option for construction access would be through Freshfields, as the property owner does not have any easement rights across neighboring property.

Town Administrator Cronin noted that Atlantic Partners II also owns property on the other side of Seabrook Island Road. He stated that if that property were ever developed, the town would expect a future driveway to line up with the one proposed for the senior facility. He asked if this was feasible. Mr. Permar responded that there were no immediate plans to develop the property on the other side of the street; however, if it were developed in the future, then access to that property could be provided at the same location.

Town Administrator Cronin asked how far the building would be set back from Seabrook Island Road. Mr. Pantlik stated that Berkeley Electric Coop has a 30' easement running parallel to the 66' road right-of-way, so the building and internal roads would be at set back at least 30' from the right-of-way.

Town Administrator Cronin asked how tall the building would be. A member of the design team stated that the building would be approximately 42' tall, containing three residential floors over parking.

Town Administrator Cronin asked if there were any cross-access easements with the neighboring Haulover Creek property. Mr. Pantlik responded that there were no existing easements. Town Administrator Cronin noted that these types of connections would be beneficial, as it would allow for better connectivity between properties and reduce future traffic impact to Seabrook Island Road.

Mr. Pantlik thanked members of the Planning Commission for the opportunity to present. He added that the encroachment permit application has been submitted to the town for the Planning Commission's consideration at their August meeting.

- 2. Material Requirements for Walls and Fences:** Town Administrator Cronin stated that he was recently made aware of a conflict between the town's zoning requirements and the SIPOA's guidelines regarding allowable materials for retaining walls and fences. He stated that the town's ordinance requires walls and fences to be made of stucco, cypress, pressure treated wood and similar materials, whereas the SIPOA allows the use of architectural concrete masonry units (CMU) for retaining walls and powder coated aluminum for fencing. He noted that while the zoning ordinance prohibits architectural CMU and aluminum, he has seen several instances of both materials being used while driving around the island. He recommended amending the zoning ordinance to bring the town's material requirements in line with those of the SIPOA. Members of the Planning Commission agreed that it would be beneficial to eliminate this conflict and asked Town Administrator Cronin to bring back a draft text amendment for review.

COMPREHENSIVE PLAN WORK SESSION

1. **Draft Survey Questions:** Dan Frazier and Andrea Pietras from the Charleston County Planning Department reviewed the draft community survey with members of the Planning Commission. Commission members discussed possible modifications to the survey questions, as well as methods for obtaining feedback from non-resident visitors. Town Administrator Cronin stated that he was hoping to have the survey link active on the town's website by the first week of August, and that survey collection would run until the end of August.
2. **Stakeholder Meeting Invitees:** Town Administrator Cronin stated that town and county staff would be compiling a list of individuals and groups to invite to the stakeholder meetings. A draft list will be forwarded to Planning Commission members for review and comment prior to invitations going out.
3. **Project Schedule:** Mr. Frazier distributed a revised project schedule for the comprehensive plan update. Mr. Frazier stated that the Planning Commission's decision to hold comprehensive plan workshops during its regular meetings, rather than separate work sessions, necessitated a minor shift to the schedule to allow time for data collection. Mr. Frazier added that the original schedule allowed sufficient time to accommodate minor revisions, and that the project was still anticipated to be completed prior to July 2019.

There being no further business, Mr. Billian made a motion to adjourn the meeting. Chairman Driscoll seconded the motion. The vote in favor of the motion was 4-0, and the meeting was adjourned at 4:12 pm.

Minutes Approved:



Joseph M. Cronin
Town Administrator



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
Seabrook Island, SC 29455

RECUSAL STATEMENT

Member Name: CATHERINE PATTERSON

Public Body: Town Council Planning Commission Board of Zoning Appeals
 ATAX Advisory Comm. Utilities Commission Ways & Means Comm.
 Other: _____

Meeting Date: 7-18-2018

Agenda Item: Village at Seabrook Design approval

Agenda Topic: " "

The Ethics Act, SC Code §8-13-700, provides that no public official may knowingly use his office to obtain an economic interest for himself, a family member of his immediate family, an individual with whom he is associated, or a business with which he is associated. No public official may make, participate in making, or influence a governmental decision in which he or any such person or business has an economic interest. Failure to recuse oneself from an issue in which there is or may be conflict of interest is the sole responsibility of the elected or appointed official (1991 Op. Atty. Gen. No. 91-37.) A written statement describing the matter requiring action and the nature of the potential conflict of interest is required.

Justification to Recuse:

- Professionally employed by or under contract with principal
- Owns or has vested interest in principal or property

Other: President of Village at Seabrook HOA.

7-18-2018
Date

Catherine Patterson
Member Signature

Received by Presiding Officer:

[Signature]
Presiding Officer Signature

TOWN OF SEABROOK ISLAND

Planning Commission Special Called Meeting

August 15, 2018 – 2:30 PM

Town Hall, Council Chambers
2001 Seabrook Island Road



MINUTES

Present: Robert Driscoll (Chair), Lori Leary, Cathy Patterson, Wayne Billian, Ken Otstot, Joe Cronin (Town Administrator)

Absent: None

Guests: Mayor Ron Ciancio, Councilman John Gregg, Councilwoman Jeri Finke, Jim Bannwart (Utility Commission), Tommy West (Utility Commission), Heather Paton (SIPOA), Stephanie Tillerson (Town of Kiawah Island), John Taylor (Town of Kiawah Island), Ray Pantlik (Atlantic Partners II LLC), Mark Permar (Permar Inc.), Richard Ackerman (Big Rock Partners LLC), Jordan Phillips (Atlantic Partners II LLC), Tony Woody (Thomas & Hutton), Paul Ford (Reveer Group), Bob George (G. Robert George & Associates), Janet Pasquale (Resident)

Chairman Driscoll called the meeting to order at 2:30 pm. Town Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled, and the meeting agenda was properly posted.

OLD BUSINESS ITEMS

There were no Old Business Items.

NEW BUSINESS ITEMS

- 1. Rezoning Request: 2460 Seabrook Island Road:** Town Administrator Cronin provided a brief overview of the request, the purpose of which was to review and provide a recommendation on a rezoning request from the Seabrook Island Property Owners Association (SIPOA) for Charleston County Tax Map Number 147-02-00-020, containing approximately 0.54 +/- acres located at 2460 Seabrook Island Road. The SIPOA requested a rezoning of the property from the SR Single-Family Residential District to the AGC Agricultural-Conservation District. Town Administrator Cronin indicated that town staff recommended in favor of approving the rezoning request.

Ms. Patterson made a motion to recommend in favor of approving the rezoning request from SR to AGC. Ms. Leary seconded the motion. The motion was approved by a vote of 5-0.

2. **Encroachment Permit Request: Kiawah Senior Living Facility:** Chairman Driscoll began discussion of this item by providing an overview of Seabrook Island Road. He stated that the town owns a 66' right-of-way easement, which was previously annexed into the town limits, and that the town has the power to regulate access to the road through the issuance of encroachment permits. He stated that under the town's Development Standards Ordinance (DSO), encroachment permit applications are reviewed and approved by the Planning Commission, and that an applicant may appeal a decision to Town Council for de novo review. He explained that the Planning Commission can approve, approve with conditions, or deny any encroachment permit application, adding that denial can only be for legitimate, supported decisions, and not for arbitrary reasons. Chairman Driscoll then outlined the process for consideration of the request, beginning with a presentation by the applicant, dialogue between the applicant and Planning Commission members, the receipt of information from outside advisors (including transportation and stormwater consultants, as well as the SIUC) and receipt of public comments.

Chairman Driscoll called on Ray Pantlik, Director of Development for Kiawah Partners/Atlantic Partners II, LLC. Mr. Pantlik provided an overview of the application. He also detailed changes from the preliminary designs and traffic impact analysis (TIA) which were presented to the Planning Commission in July. Mr. Pantlik noted that while the TIA found that a left turn lane from Seabrook Island Road into the property was not warranted based on current and projected turn volumes, the applicants included a left turn lane at the town's request.

Tony Woody of Thomas and Hutton also spoke on behalf of the applicant. Mr. Woody provided additional information regarding the TIA. Mr. Woody stated that traffic counts were conducted during Memorial Day week. Thomas and Hutton conducted a 24-hour count to identify peak hour traffic volumes, then added background growth and projected traffic volumes from the new facility to determine what improvements, if any, were necessary. Responding to recommendations from the town's outside transportation engineer, the Reveer Group, Mr. Woody stated that in designing the new intersection, the engineers were trying to be sensitive to the existing tree cover along Seabrook Island Road, but added that the applicants could provide 150' of storage capacity and extend the taper lengths if that was what the town wanted. He added that the SCDOT allows judgement at the local level regarding site distance and tree removal, using Bohicket Road as an example. But he added, again, that the applicants could modify their plans to remove additional trees if that was what the town desired. Mr. Woody stated that Thomas and Hutton had also run an analysis of what would happen at the traffic circle if a second access was not provided from Seabrook Island Road to the site. He stated that the projected impact in the circle would be an additional 2 second delay in the AM peak hour, and an additional 1 second delay in the PM peak hour. There would be no change in the overall Level of Service (LOS); however, the LOS at the Betsy Kerrison Pkwy approach, which is the primary turning movement, would decrease from a LOS D to LOS E during the AM peak hour.

Chairman Driscoll asked if these impacts were enough to rule out using the traffic circle, via Freshfields Village, as the primary point of access to the site. Mr. Woody responded that the additional 2 second delay would be in addition to any background growth, arguing that the

total impact would be cumulative. He also added that there would be no impact to the overall LOS at the traffic circle in the AM or PM peak hour with or without a second access point.

Chairman Driscoll asked if an additional 2 second delay would result in traffic backing up beyond the project entrance on Seabrook Island Road. Mr. Woody responded that he was unsure if that would be the case.

Chairman Driscoll noted that while the study assumed background growth from the Town of Seabrook Island, he asked whether it also included growth from Kiawah River Plantation, the Haulover Creek property, or other tracts. Mr. Woody responded that the background growth rate did not apply to any specific property or development, but rather, was a projection of overall growth rates taking place in the surrounding areas.

Chairman Driscoll asked how the background growth rate was determined. Mr. Woody responded that Thomas and Hutton used annual daily counts from SCDOT for the years 2012 through 2017 to determine an average annual growth rate. This growth rate was then added to current peak hour volumes to determine traffic impact in a build vs. no-build scenario.

Chairman Driscoll asked what guidelines were used to determine whether the project would have any storm drainage impact to the town. Mr. Woody responded that Thomas and Hutton designed the project based on SCDHEC and Charleston County requirements. He added that while the plans have not yet been finalized, the drainage capacity is more than adequate to serve the site.

Chairman Driscoll questioned if the applicants were asking the Planning Commission to rely on the engineer's findings. Mr. Woody responded that Thomas and Hutton prepared and signed an engineered report based on SCDHEC and county guidelines. This report stated that runoff will increase as a result of the project; however, all water will be retained on-site in the lake before being dispersed from the site at pre-development conditions. Mr. Woody added that the designs meet all state and local criteria, and as-built drawings will be prepared upon completion to verify that construction was completed in accordance with the plans.

Ms. Patterson noted that the Freshfields PUD limits the total number of residential units to 200. She asked why 50 additional townhomes were added in the TIA assumptions when these would not be allowed under the existing entitlements. Mr. Pantlik responded that the current residential cap was 200 units, and that the Freshfields PUD has not been amended to allow any additional units. He added that the applicants wanted to overestimate the number of units for the purpose of projecting future traffic volumes, but that these additional townhomes were not currently permitted under the existing entitlements.

Mr. Pantlik also discussed the recommendations contained within the Reveer Group's report. He noted that the access management criteria in the town's DSO was pretexted with the term "to the extent feasible." He also questioned the finding in the Reveer Group's report that if this access point was approved, no other access points would be allowed along Seabrook Island Road. He stated that this access point would not cause the revocation of any access

rights, and noted that existing access points along the right-of-way do not comply with the town's DSO requirements.

Chairman Driscoll asked if anyone from the applicant's team could discuss plans for construction traffic. Mr. Pantlik responded that during the initial phase of construction (prior to completion of the road widening and installation of the left turn lane), construction traffic would enter the site through Freshfields, and would exit the site via a right-turn onto Seabrook Island Road. Once the left turn lane was completed, construction traffic would enter and exit via the new access point on Seabrook Island Road. He added that the staging area for construction equipment and materials would be located behind the senior facility site.

Chairman Driscoll asked who designed the entrance on Seabrook Island Road. Mr. Pantlik responded that Thomas and Hutton had completed the design. Chairman Driscoll noted that in the original design, the bike path was moved closer to Seabrook Island Road, whereas in the current design, it was proposed to be moved further away from the roadway. Mr. Pantlik stated that the intersection had been redesigned to improve its safety and functionality, which resulted in moving the bike path crossing further back from the right-of-way.

Ms. Patterson asked what had happened to the 50-foot buffer zone referenced in the Freshfields PUD. Mr. Pantlik responded that the buffer zone included the Berkeley Electric Coop and bike path easements, adding that no part of the site would encroach into the buffer zone, with the exception of the driveway.

Mr. Pantlik also addressed the comments from the Reveer Group's report which recommended the removal of at least 7-8 oak trees for line-of-sight purposes. He stated that he didn't think this would be the best approach for the roadway, but that the applicant was prepared to remove additional trees to meet the line-of-sight recommendations, if that's what the town preferred.

Mr. Billian asked if the center line of the road could remain where it is, with the widening taking place on both sides of the center line. He added that this would allow for preservation of the symmetrical tree line along the right-of-way. Mr. Pantlik responded that the current plan to widen Seabrook Island Road on the south side would allow all drainage to flow through the site to the lake at Freshfields. He added that widening the road to the north would likely affect an OCRM critical area. Mr. Woody added that the ditch on the north side of the road is an OCRM critical area; the applicants could design an alternate widening plan, however, it was uncertain whether the state would approve that design given the feasibility of an alternate design.

Ms. Patterson expressed concern about future development on the other side of Seabrook Island Road, and specifically, what would happen in the future if the new access point for the senior facility became a full movement intersection to serve properties on both sides of the road. Mr. Pantlik responded that the majority of the property on the north side of the road is OCRM critical area or jurisdictional wetlands, and the majority of that property would likely remain undeveloped. Mr. Billian stated that the Greenspace Conservancy would be happy to

see that land donated for preservation. Mr. Pantlik said he wouldn't go so far as to say it was totally undevelopable.

Mr. Otstot asked if it would be possible to place a stake or flag at the location of the proposed driveway. Mr. Pantlik stated that they could certainly mark the driveway. He added that the new driveway would be located approximately where the taper begins for the right-turn into the former Miss Lulu's.

Ms. Patterson asked why a second entrance wasn't built when Freshfields started in the early 2000's. Mr. Pantlik responded that plans for a second access road went all the way back to the original rezoning for Freshfields. Mr. Permar added that the concept plan in the initial Freshfields PUD always included a second access point on Seabrook Island Road. Ms. Patterson then asked why the subdivision plans and plats for Freshfields have never shown a secondary access. Mr. Permar responded that Freshfields was developed in phases; while a road was always shown in the concept plan, it was not shown on site specific plans or plats because that portion of the property had not yet been subdivided or developed. It was always their plan to seek a secondary access point, as shown on the concept plan, when that portion of the property was developed. Mr. Permar then discussed the role of a concept plan and the process of developing under a multi-phased PUD, adding that while it was part of their vision, it would be up to the town's judgment as to whether a secondary access point would be permitted. Ms. Patterson noted that Freshfields has been able to operate just fine with its existing road network.

Chairman Driscoll asked if there was any other discussion on the topics of traffic or stormwater. Mr. Pantlik commented on one additional item in the Reveer Group's report. He added that one new drain pipe would need to be extended across existing utilities. He was confident that this could be done in coordination with utility providers in a safe manner, and without interruption to service. Chairman Driscoll asked what utilities would need to be crossed. Mr. Pantlik responded that there was an existing water main, sewer force main, and underground power.

Mr. Woody offered a parting thought that there were many good comments in the Reveer Group's report, and that the applicant could modify the proposed intersection to meet all of the report's recommendations. He did express concern, however, with the recommendation to remove all trees within 14 feet from the edge of pavement. Mr. Otstot asked if the applicants could meet all the recommendations from the Reveer Group report. Mr. Woody and Mr. Pantlik both responded in the affirmative. Mr. Pantlik also introduced Jordan Phillips, one of the principals in Atlantic Partners.

Chairman Driscoll then called on consultant Bob George of G. Robert George and Associates. The town contracted with Mr. George to perform an independent review of the project's stormwater plans.

Mr. George began his presentation by complimenting the quality and reputation of the engineer, Thomas and Hutton. He stated that his comments were based on his review of the preliminary drawings, and he recommended a detailed review of the final stormwater designs

be conducted once completed. Mr. George stated that the existing lagoon at Freshfields has more than enough capacity to serve the site, but added that the capacity of the culverts will need to be evaluated. He stated that he has been working with the town to get outfall permits for Seabrook Island Road and added that working with OCRM is a nightmare; however, the town has received a permit for three additional tide gates, which should help flooding problems in this area. Mr. George concluded that he had no major concerns regarding the storm drainage plans, but again recommended town approval of the final plans.

Chairman Driscoll asked if this project would impact the town's ongoing drainage improvements on Seabrook Island Road. Mr. George responded that it would not. Chairman Driscoll thanked Mr. George for his comments.

Chairman Driscoll then called on Jim Bannwart, Chairman of the Seabrook Island Utility Commission. Chairman Driscoll noted that the Utility Commission was obligated to provide utility service to the property due to a legacy agreement between Heater of Seabrook (the previous owner of the utility system) and the property owner.

Chairman Driscoll asked Mr. Bannwart if the Utility Commission had the capacity to serve the project. Mr. Bannwart responded that the town's sewer plant is rated for up to 1.1 million gallons per day and is currently operating at approximately 500,000 gallons per day. Because of this pre-existing commitment, the Commission has anticipated future service at this property as part of their overall planning process. Mr. Bannwart added that the Commission's staff was currently reviewing the plans, but the daily impact of the facility was projected to be around 37,000 gallons per day. Mr. Pantlik clarified that the property would receive sewer service from the town; however, water service would be provided by the St. John's Water Company.

Chairman Driscoll then called on consultant Paul Ford, a civil engineer with the Reveer Group. The town contracted with the Reveer Group to perform an independent review of the project's traffic impact analysis and intersection design plans.

Mr. Ford provided an overview of the Reveer Group's findings and recommendations, which were outlined in a report provided to members of the Planning Commission and the applicant in advance of the meeting. He stated that he would focus on three main items: the location and geometry of the proposed intersection; the impact to the existing tree canopy; and the need for an intersection to serve this property.

Mr. Ford stated that the design was reviewed based on the SCDOT ARMS Manual. The review identified a few inconsistencies with SCDOT specifications, including the need for turn lane extensions, taper adjustments, and modifications to turning radii to accommodate trucks and emergency vehicles. He also touched on the town's access management regulations, which requires intersections to be spaced at least one half-mile apart, where feasible. He stated that if this intersection is approved, the next one down the road will be more difficult to justify.

Regarding the oak trees, Mr. Ford stated that he would probably not require all trees within 14 feet of the right-of-way to be removed; however, as an engineer, he had an obligation to disclose this conflict with the ARMS manual.

Chairman Driscoll asked if the preservation of sight lines was his primary concern. Mr. Ford responded in the affirmative and added that when trees are closer to the edge of pavement, they become more of a liability. Chairman Driscoll asked if they could be simply limbed up? Mr. Ford responded that this was a possibility, but they appeared to be pretty well maintained.

Noting that the applicant has already agreed to most of the Reveer Group's most significant recommendations, Chairman Driscoll then asked if there were any suggestions to which the applicant had not already agreed. Mr. Ford responded that the project itself isn't a real traffic generator, and that the project will only add a couple seconds to travel times on adjacent roads. He stated that the key question was whether this access point was a want or a need. He said that this question was not really evaluated in the TIA. He asked why an additional access point would be needed for a project with such a minimal traffic impact.

Chairman Driscoll asked if someone from the applicant could address this question. Mr. Richard Ackerman of Big Rock Partners LLC, the developer of the project, stated that the second access would serve several purposes, including: emergency access, better circulation, improved convenience, and creating a presence for the project on Seabrook Island Road which would aid in marketing and sales.

Chairman Driscoll asked whether a senior facility could operate without two access points. Mr. Ackerman noted that the square footage of this facility would be larger than the existing shopping center. He added that two access points were necessary to serve three populations (independent living, assisted living and memory care) with three separate entrances.

Chairman Driscoll asked how many entrances there were at the Bishop Gadsden facility on James Island. It was determined that there were two access points from Camp Road. Mr. Ackerman stated that he couldn't imagine the Fire Department would want only a single access point.

Ms. Patterson asked if fire trucks were able to navigate through Freshfields. Mr. Ackerman responded that Freshfields would not have been built if fire trucks could not access the property. He added, however, that the demographics of a shopping center were different than a senior center, where emergency services would be dealing with different types of people, including seniors, alzheimer's patients, etc.

Ms. Patterson asked if the facility would have a sprinkler system. Mr. Ackerman responded that it would. It would also be constructed of concrete and steel, and would feature an enhanced alarm system.

Ms. Patterson asked if residents would be permitted to have personal aides. Mr. Ackerman responded that they could. Ms. Patterson noted that this may increase the traffic impact.

Mr. Billian asked how many entrances there would be to the underground parking. Mr. Ackerman stated that residents would go in one end and out the other. He added that the developer elected to hide the parking areas under the building, which was a design feature that came at great expense. Mr. Billian also asked if there would be valet parking. Mr. Ackerman responded in the affirmative, but not for handicapped parking.

Mr. Otstot asked what kind of signage would be used for the property. Mr. Ackerman said the signage plan had not been finalized, but would meet all zoning and PUD requirements under the Town of Kiawah Island.

Ms. Patterson if the applicants were proposing to restrict access to and through the property. Mr. Ackerman responded that they were not planning to restrict access and added that a gate would defeat the purpose of having a turn lane.

Town Administrator Cronin noted that the TIA did not include any assumptions for Seabrook Island residents utilizing the new access as a short cut into Freshfields. He asked Mr. Ford whether he felt additional cut through traffic would adversely impact the operation of a new intersection. Mr. Ford responded that he didn't think it would create any noticeable impact. He also added that the existing traffic circle operates pretty well, and that using this intersection as a cut through probably wouldn't save much time.

Mr. Billian asked about future development plans in Kiawah Island. Mr. Permar responded that there were approximately 200-300 vacant lots remaining in Kiawah, inclusive of the Timbers project. He also noted the rebirth of the West Beach Village Inn project as a future traffic generator. He stated that he didn't anticipate any other major projects starting in the next few years, including on the Haulover Creek (Goodwin) property, as Kiawah needs land to handle parking needs for upcoming PGA Championship events.

There being no further questions, Chairman Driscoll asked if anyone in the audience wished to speak.

Resident Janet Pasquale provided comments. Ms. Pasquale asked when the traffic study was completed. Chairman Driscoll responded that the TIA was conducted on the day after Memorial Day. Ms. Pasquale asked how many vehicles could be in the stacking lane at any given time. Mr. Woody responded that the stacking lane would be 150 feet, so depending on the length of vehicles, it would likely handle 6-8 vehicles at a time. Lastly, she asked if the Town of Kiawah Island or the developer would contribute to the maintenance of Seabrook Island Road. Chairman Driscoll said he couldn't answer that question, and deferred to the applicant. Mr. Permar responded that neither Seabrook Island nor Kiawah Island collect a property tax. Therefore, Seabrook Island residents would not be expected to be taxed any higher to maintain the road. Ms. Patterson asked who would maintain the striping. Mr. Pantlik responded that as a Seabrook Island road, it was assumed that the town would maintain it.

There being no further comments, Chairman Driscoll requested a motion to table consideration of this request until a future date has been identified to meet as a group for further discussion.

Mr. Otstot made a motion to table the request. Ms. Patterson seconded the motion. The motion to table was approved by a vote of 5-0.

ITEMS FOR INFORMATION / DISCUSSION

1. **Upcoming Meeting Dates:** Chairman Driscoll stated that the next meeting of the Planning Commission would take place on September 12th, rather than the regular meeting date of September 5th. This was the first date that all five members, as well as the Town Administrator, would be able to meet.

There being no further business, Mr. Billian made a motion to adjourn the meeting. Ms. Leary seconded the motion. The vote in favor of the motion was 5-0, and the meeting was adjourned at 4:27 pm.

Minutes Approved:



Joseph M. Cronin
Town Administrator

DRAFT



MEMORANDUM

TO: Town of Seabrook Island Planning Commission Members
FROM: Joseph M. Cronin, Town Administrator
SUBJECT: Architectural Review: Equestrian Center Modifications and Expansion (Amended)
MEETING DATE: September 26, 2018

The Planning Commission is asked to review and approve an updated request from the Seabrook Island Club for proposed modifications to the existing barn at the Seabrook Island Club Equestrian Center, located at 3122 Seabrook Island Road. The property is zoned PDD-Parks & Recreation (APR) Subdistrict.

The Planning Commission reviewed and approved an earlier rendering during its May 2018 meeting. At that time, the proposed modifications included the following:

- Construction of a 359 square foot addition to the existing first floor (front)
- Construction of a 840 square foot addition to the second floor (front)
- Addition of a 130 square foot covered porch to the second floor (front)
- Addition and reconfiguration of administrative space
- Renovation of existing tack room
- Creation of new feed storage space
- Construction of a new handicapped accessible lavatory
- Repair, as required, of existing siding and trim
- Replace all interior and exterior horse stall doors
- Replace all interior light fixtures and fans
- Construction of 3' concrete sidewalk
- Maintenance items, as shown in the attached scope of work
- No increase in the number of existing horse stalls
- Removal of one existing crepe myrtle at the front entry

The project has since been revised due to cost and the Club is now requesting approval of a modified plan. The most significant changes include the removal of the second floor covered porch, as well as a portion of the first floor addition, both of which were proposed to be located at the front of the building.

Similar to the original request, the proposed colors and materials will match those of the existing structure. Plans illustrating the proposed modifications, as well as photos of the existing building, are attached for review.

Section 11-20 of the town's Development Standards Ordinance (DSO) contains the following parking requirement for Equestrian Centers: "One (1) space for each two (2) horses boarded or boarding space available to rent." Because the proposed modifications will not result in any increase to the number of boarding spaces available to rent, no additional parking spaces will be required.

A set of the revised building plans are included for review.

Staff Recommendation

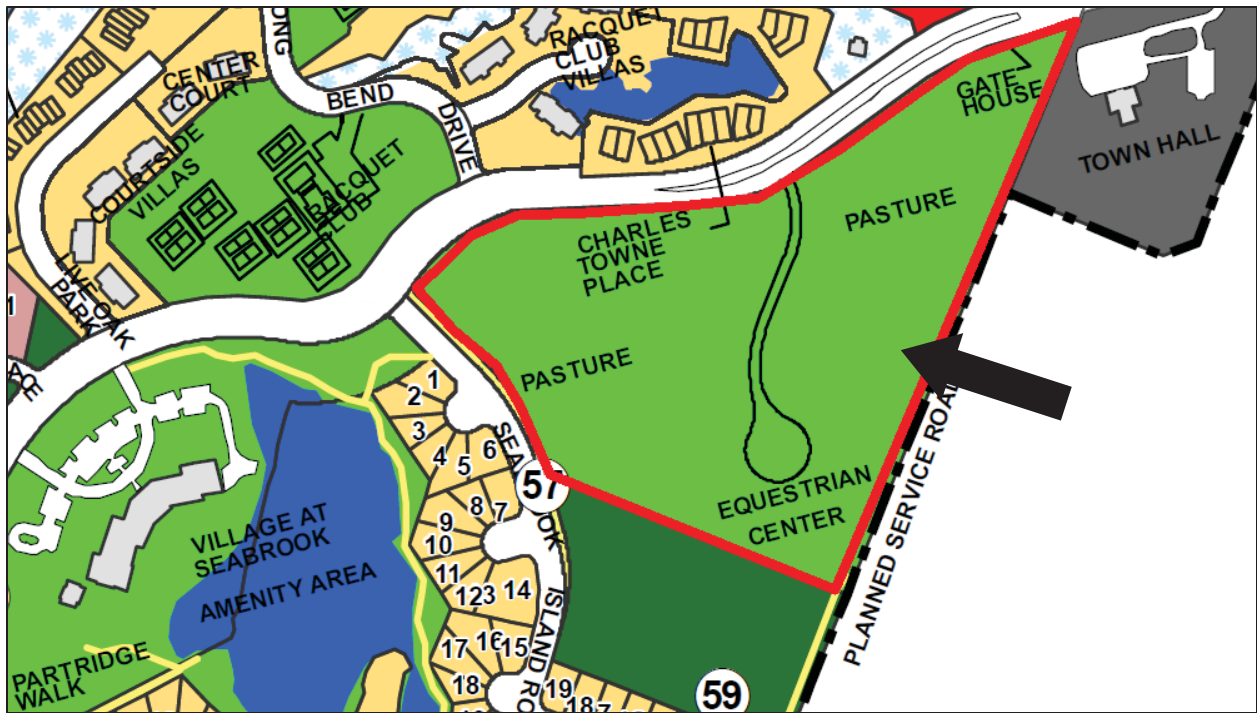
In our opinion, the proposed modifications are consistent with the requirements of the town's DSO. Therefore, staff recommends in favor of **APPROVAL**.

Respectfully submitted,



Joseph M. Cronin
Town Administrator/Zoning Administrator

Zoning Map



Aerial Image



Aerial Image (Existing Barn)



Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET

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- T1.2 GENERAL INFORMATION
- L1.1 SITE LAYOUT
- D1.1 FOUNDATION DEMOLITION PLAN
- D1.2 MAIN FLOOR DEMOLITION PLAN
- D1.3 UPPER FLOOR DEMOLITION PLAN
- D1.4 ROOF DEMOLITION PLAN
- A1.1 MAIN FLOOR PLAN
- A1.2 UPPER FLOOR PLAN
- A1.3 ROOF PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A5.1 DETAILS
- A5.2 DETAILS
- A6.1 NOT USED
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- M1.2 UPPER FLOOR MECHANICAL PLAN
- E1.1 MAIN FLOOR ELECTRICAL PLAN
- E1.2 UPPER FLOOR ELECTRICAL PLAN



SEABROOK ISLAND CLUB
EQUESTRIAN CENTER

COVER SHEET

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Charleston, SC 29413



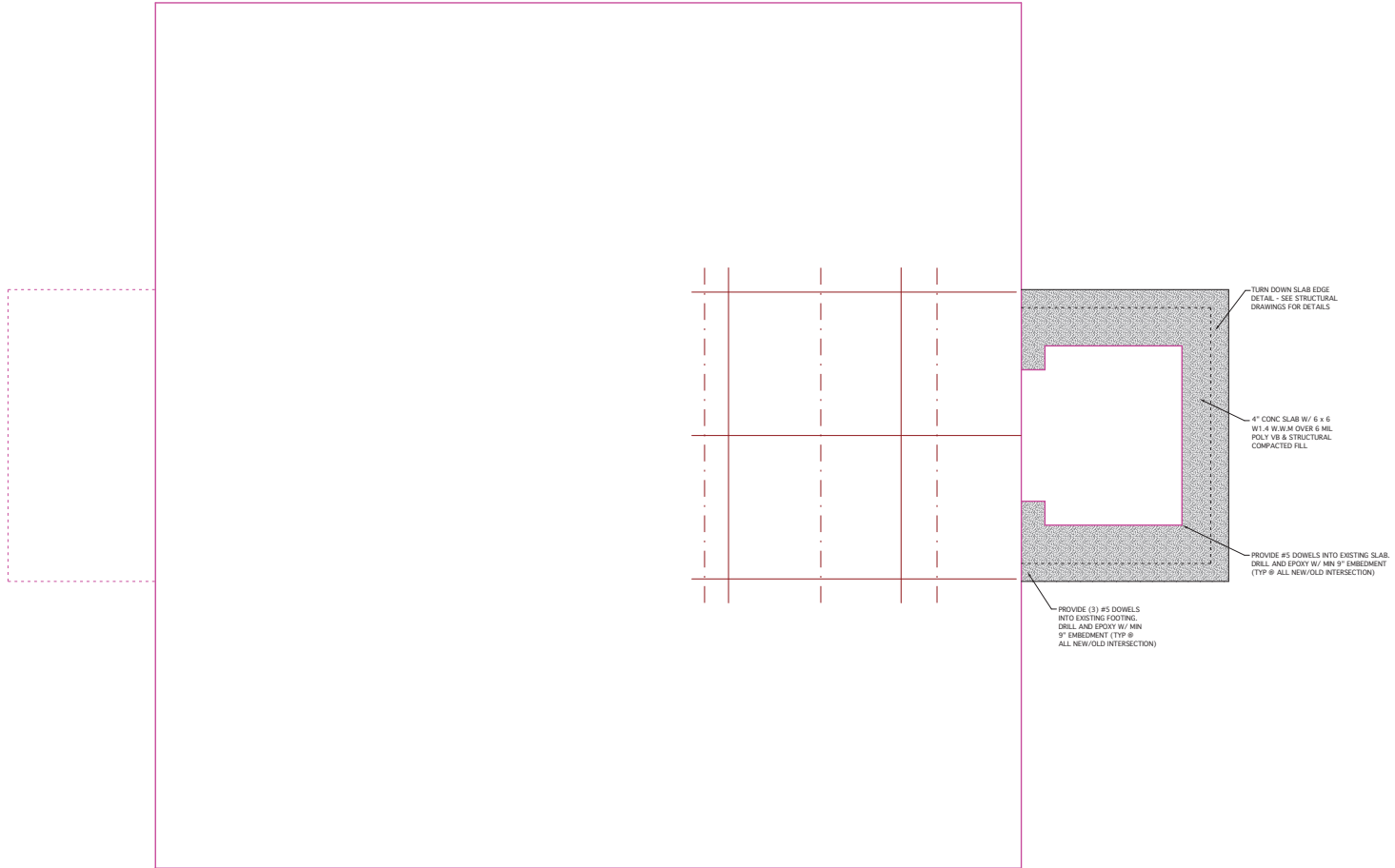
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SC 1729		

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

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- LEGEND**
- EXISTING WALLS / PARTITIONS TO REMAIN
 - NEW WALL CONSTRUCTION
 - EXIST. WALLS / PARTITIONS TO BE REMOVED

FOUNDATION DEMOLITION PLAN

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Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
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MAIN FLOOR DEMOLITION PLAN

MICHAEL E. KARAMUS ARCHITECT, L.L.C.
 P. O. Box 22056
 Charleston, SC 29413



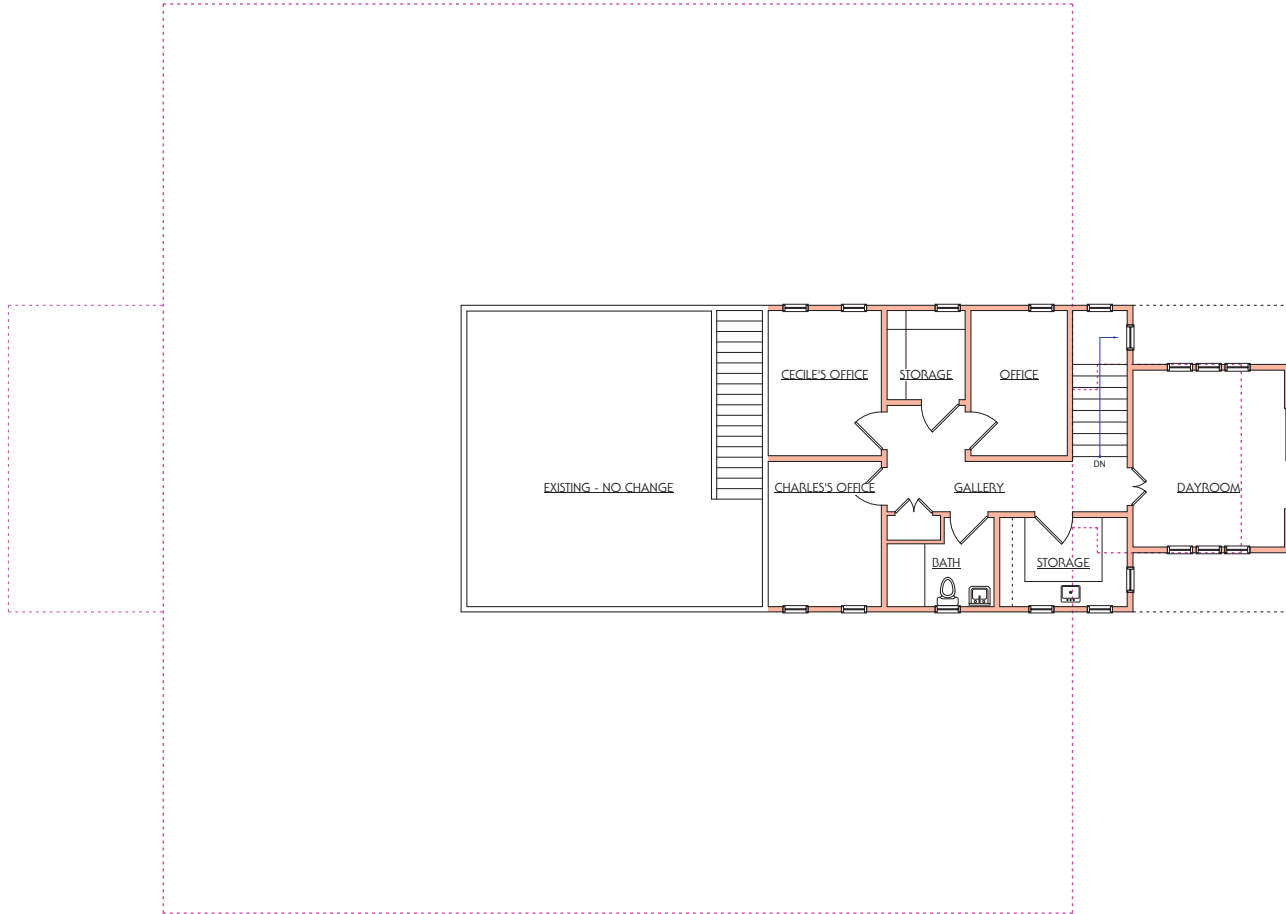
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Addition & Alteration to Exist Barn

The Club @ Seabrook
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Seabrook Island, SC

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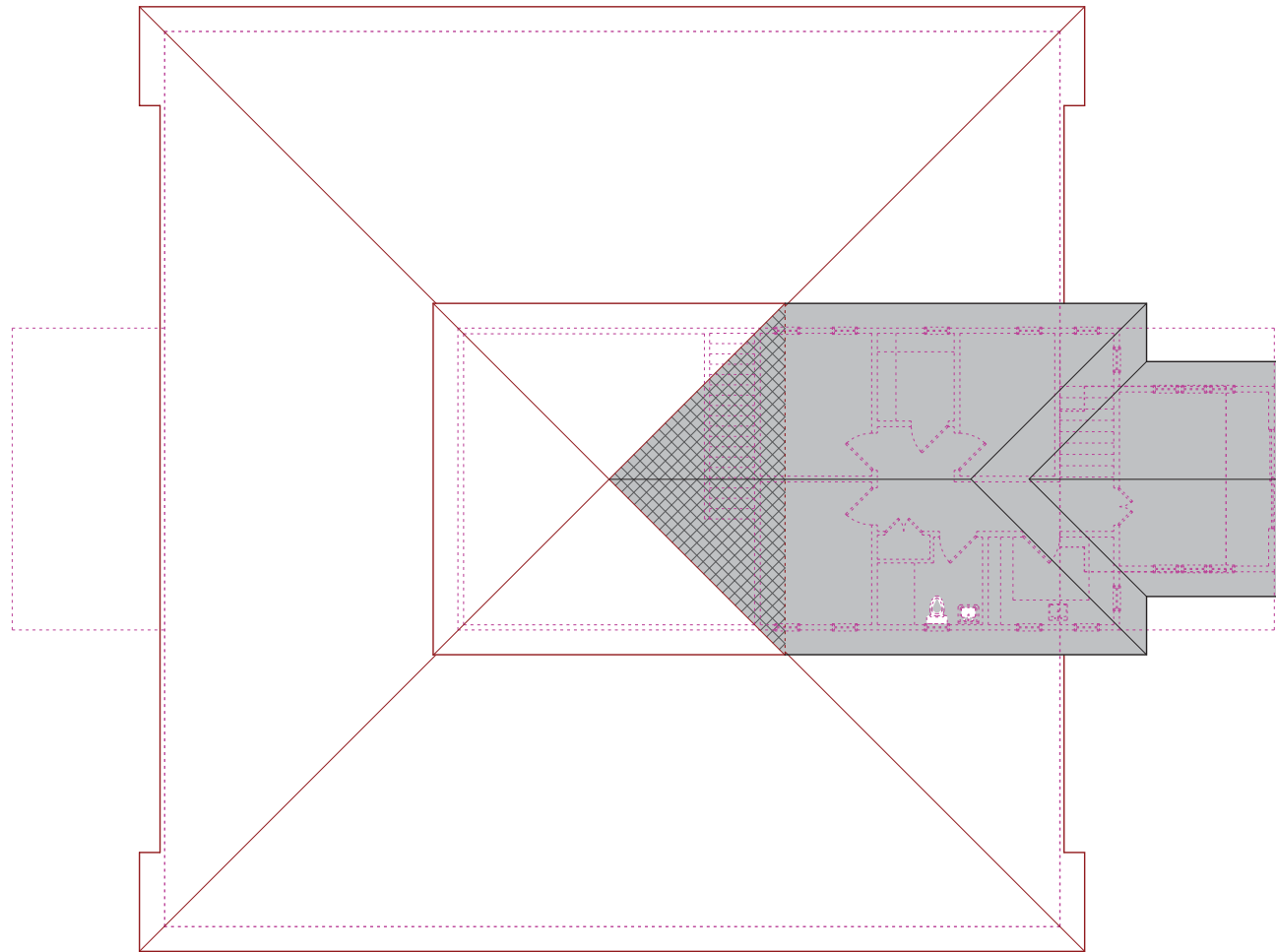
UPPER FLOOR DEMOLITION PLAN

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Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
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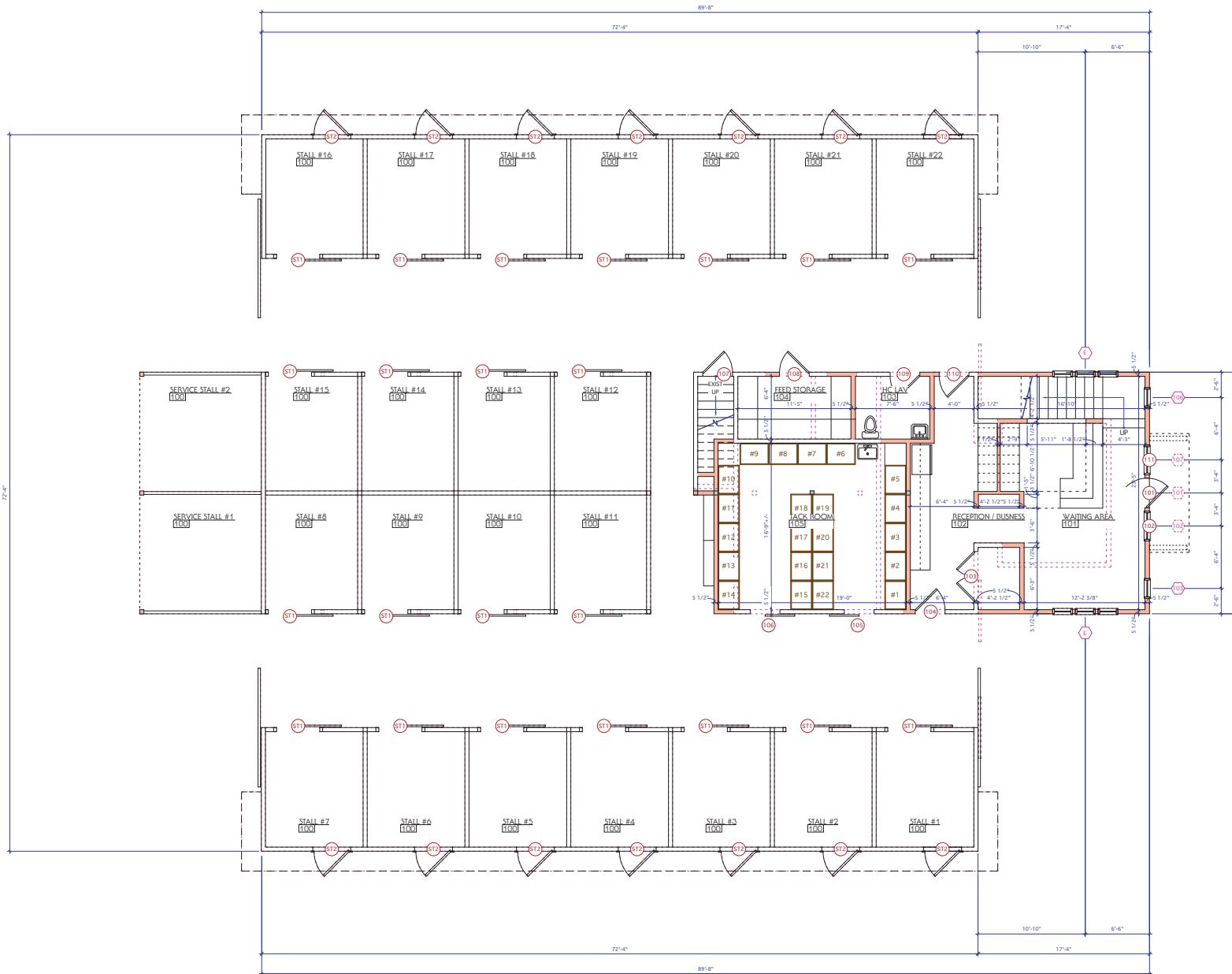
ROOF DEMOLITION PLAN

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1 MAIN FLOOR PLAN
A1.1

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
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MAIN FLOOR PLAN

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Durham, NC 27613



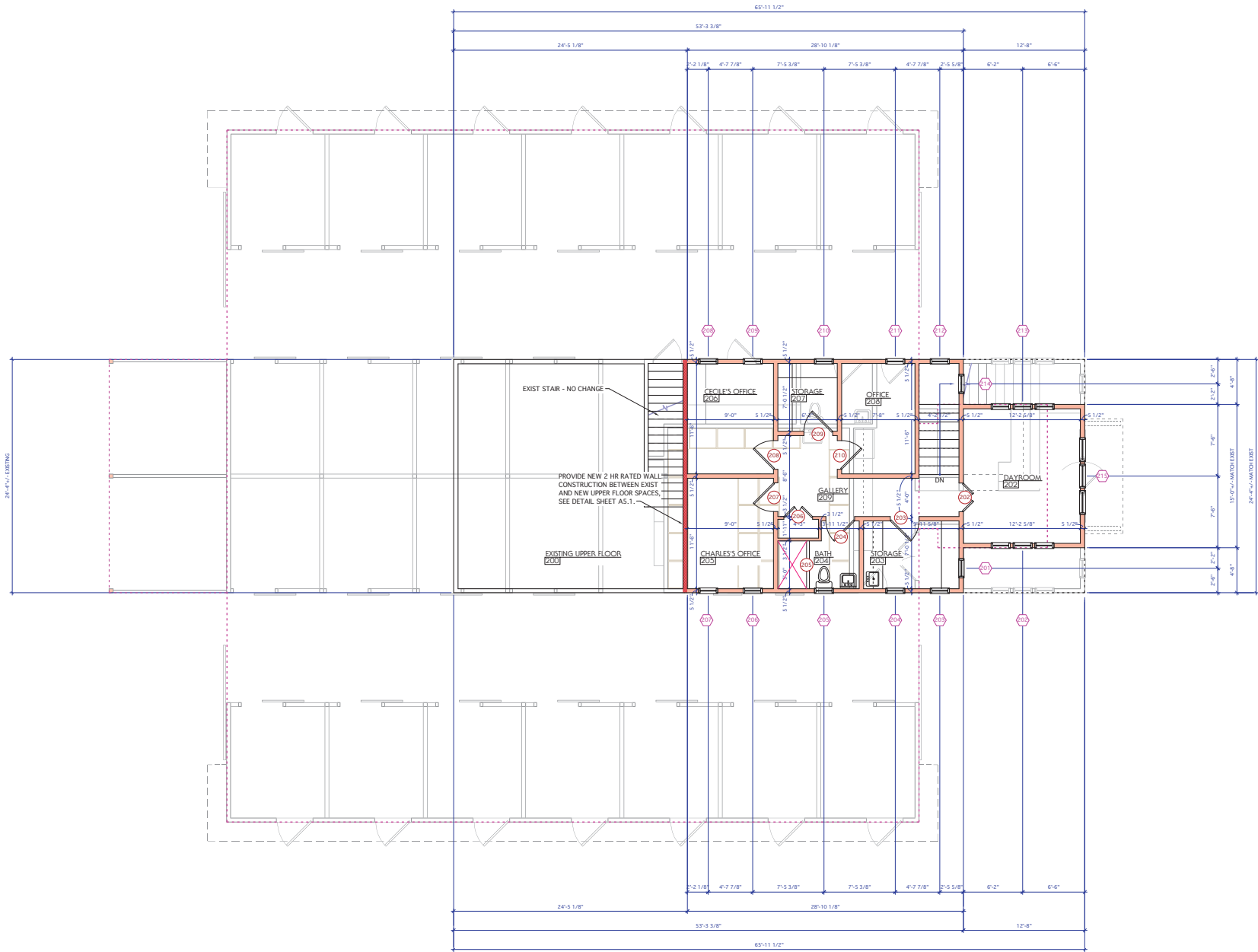
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UPPER FLOOR PLAN

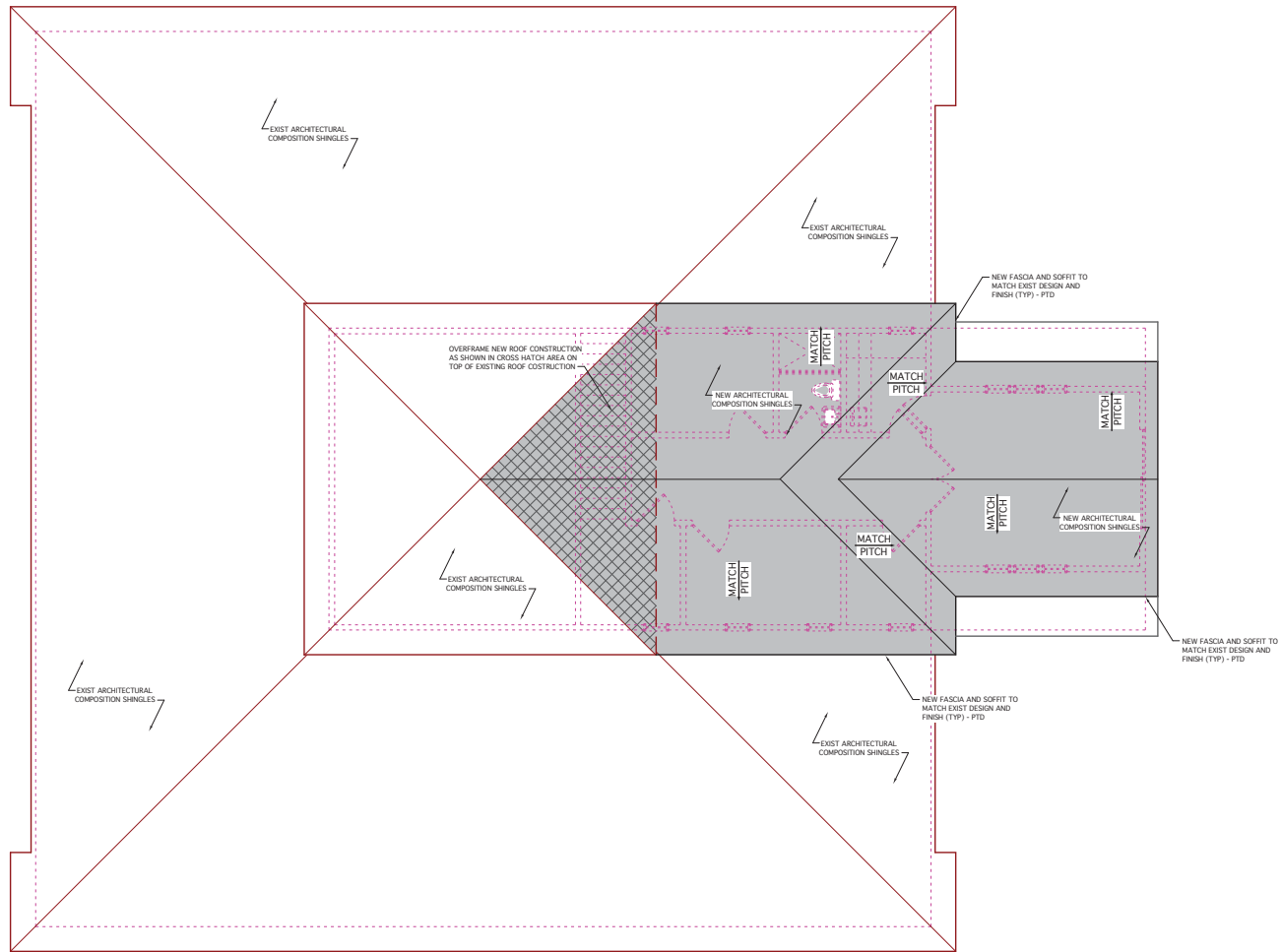
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1 UPPER FLOOR PLAN
A1.2



Addition & Alteration to Exist Barn

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Seabrook Island, SC

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ROOF PLAN

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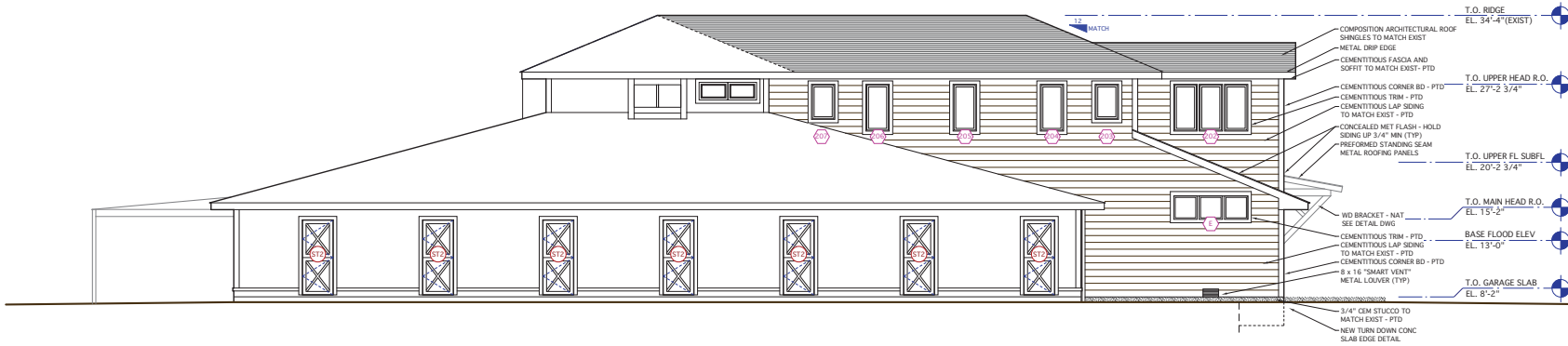
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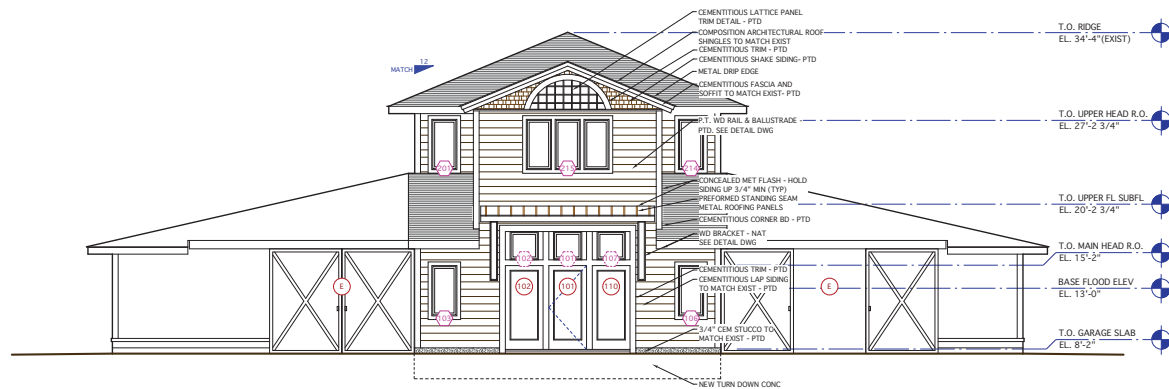
Addition & Alteration to Exist Barn

The Club @ Seabrook
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2 LEFT SIDE ELEVATION



1 FRONT ELEVATION

EXTERIOR ELEVATIONS

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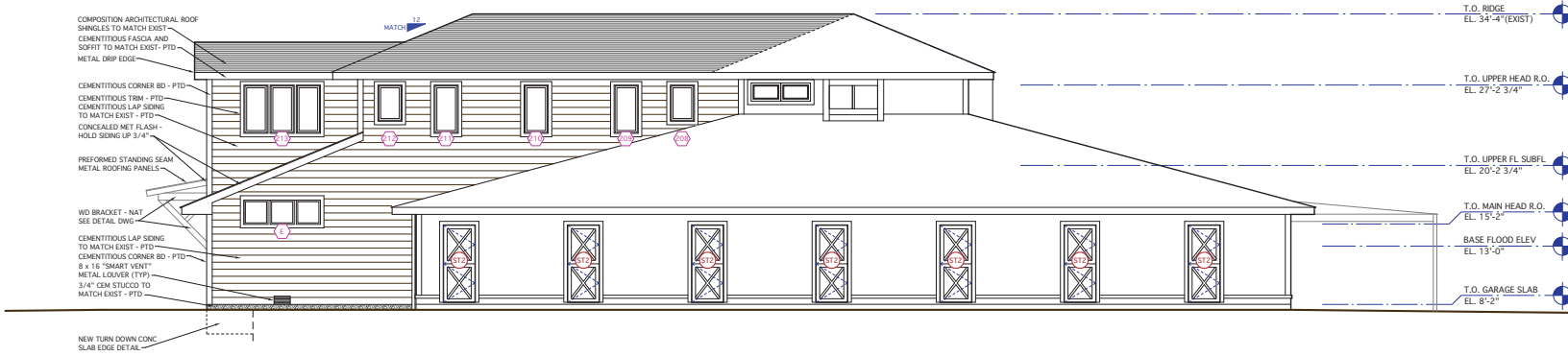
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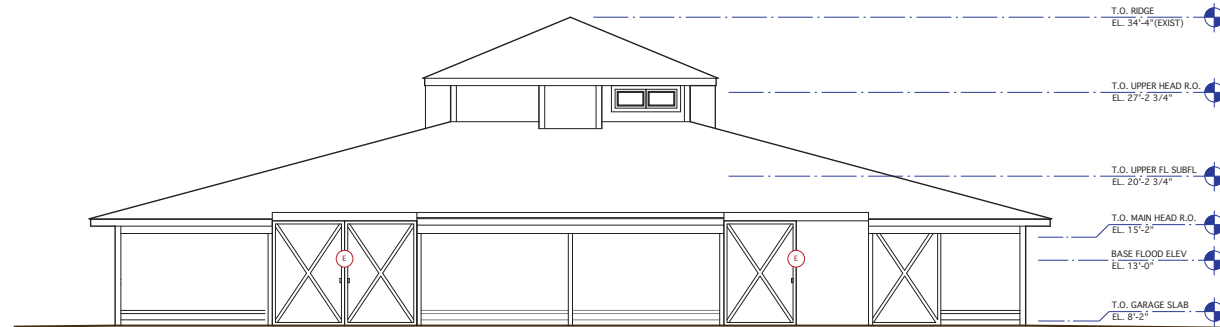
Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
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Seabrook Island, SC

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2 RIGHT SIDE ELEVATION



1 REAR ELEVATION

EXTERIOR ELEVATIONS

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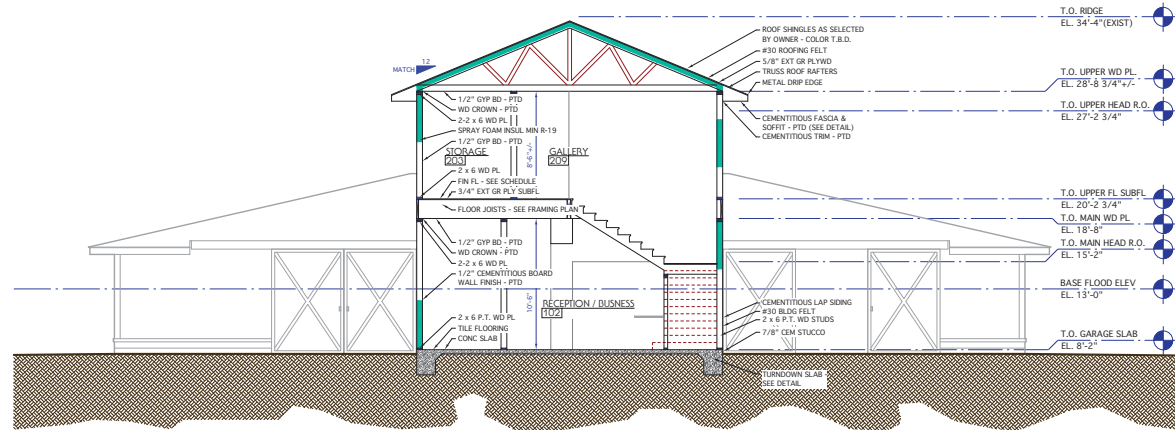
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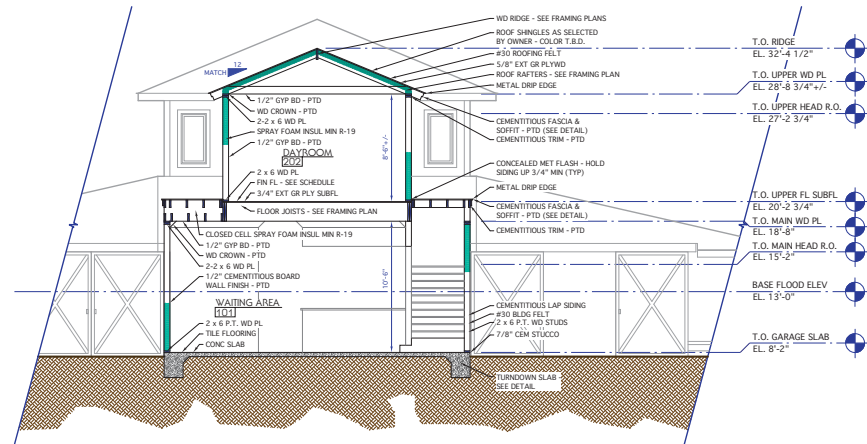
Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
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Seabrook Island, SC

Revisions:
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2 BUILDING SECTION
A3.1



1 BUILDING SECTION
A3.1

BUILDING SECTIONS

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P.O. Box 2205
Darien, SC 29533

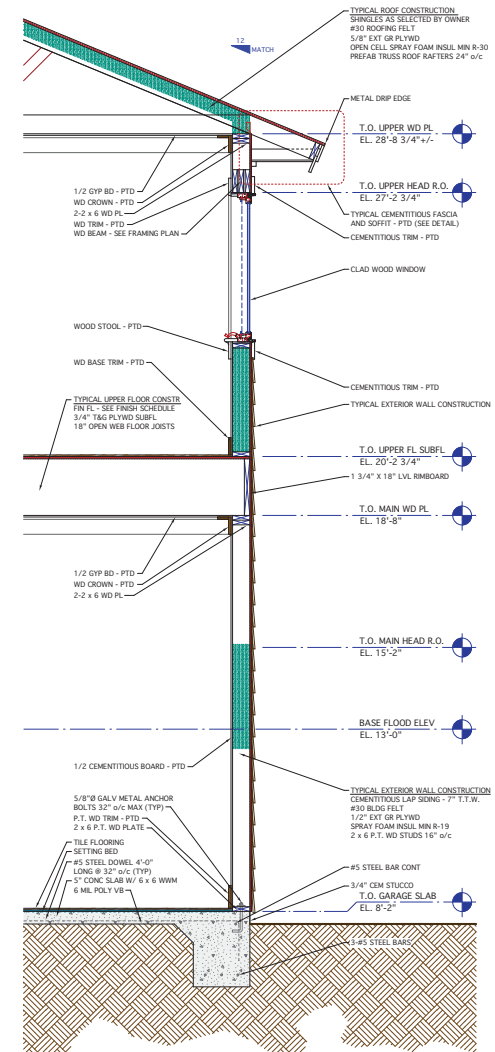
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Date: AUGUST 30, 2018	Drawing No.: A3.1	
Commission No.: SC 1729		

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC



Revisions:
PERMIT SET



NOTE:
FOOTINGS TO BEAR ON UNDISTURBED SOIL. IF NOT POSSIBLE, BEARING SURFACE SHALL BE COMPACTED TO MIN 95% DENSITY ON THE PROCTOR SCALE.

WALL SECTION

WALL SECTIONS

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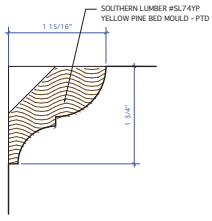
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Scale:	3/4"=1'-0"	Drawn:	MK	Checked:	MK
Date:	AUGUST 30, 2018	Commission No.:	SC 1729	Drawing No.:	A4.1

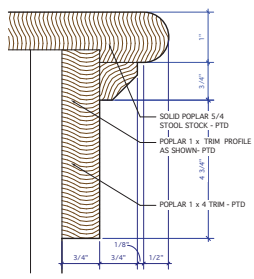
D O O R S C H E D U L E												
ALL GLAZED EXTERIOR DOOR UNITS TO BE FURNISHED WITH IMPACT RESISTANT GLAZING PER 2015 IBC/IRC												
DOOR	DOOR				FRAME		THRESHOLD	SCREEN	DETAILS			REMARKS
	WIDTH	HEIGHT	THICKNESS	TYPE	MAT/FINISH	THICKNESS			MAT/FINISH	TYPE	HEAD	
E												EXIST DOOR - NO CHANGES
ST1												INTERIOR BARN STALL DOOR - SEE SPEC
ST2												EXTERIOR BARN STALL DOOR - SEE SPEC
101	3'-0"	7'-0"	1 3/4"	A	WD. / CLAD	5/4"	WD. / PT.	WOOD				CLAD SWINGING FRENCH DOOR
102	3'-0"	7'-0"	1 3/4"	A	WD. / CLAD	5/4"	WD. / PT.	WOOD				FIXED CLAD FRENCH DOOR
103	(2) 2'-6"	7'-0"	1 3/4"	B	FIBGL/PT	5/4"	MET / PT	METAL				PAIR FLUSH CLOSET DOOR
104	3'-0"	7'-0"	1 3/4"	C	FIBGL/PT	5/4"	MET / PT	METAL				INSUL FIBGL DOOR W/LITES - WEATHERTITE
105	3'-0"	7'-0"	1 3/4"	D	WOOD/PT	5/4"	WD. / PT.	METAL				SLIDING BARN DOOR
106	3'-0"	7'-0"	1 3/4"	D	WOOD/PT	5/4"	WD. / PT.	METAL				SLIDING BARN DOOR
107	3'-0"	7'-0"	1 3/4"	B	MET/PT	5/4"	MET / PT	METAL				3/4 HR RATED DOOR
108	3'-0"	7'-0"	1 3/4"	B	FIBGL/PT	5/4"	MET / PT	METAL				FLUSH INSUL FIBGL - WEATHERTITE
109	3'-0"	7'-0"	1 3/4"	B	FIBGL/PT	5/4"	MET / PT	METAL				FLUSH INSUL FIBGL - WEATHERTITE
110	3'-0"	7'-0"	1 3/4"	B	FIBGL/PT	5/4"	MET / PT	METAL				INSUL FIBGL DOOR W/LITES - WEATHERTITE
111	3'-0"	7'-0"	1 3/4"	B	FIBGL/PT	5/4"	MET / PT	METAL				FIXED CLAD FRENCH DOOR
201												N O T U S E D
202	2'-11" - 6"	7'-0"	1 3/4"	F	MDF/PT	3/4"	WD. / PT.	WOOD				PAIR INTERIOR FRENCH DOOR
203	3'-0"	7'-0"	1 3/4"	D	MDF/PT	3/4"	WD. / PT.	WOOD				
204	3'-0"	7'-0"	1 3/4"	D	MDF/PT	3/4"	WD. / PT.	MARBLE				
205	2'-6"	7'-0"	1/2"	G	ALUM/IGL			METAL				FRAMED SHOWER DOOR
206	2'-11" - 6"	7'-0"	1 3/4"	D	MDF/PT	3/4"	WD. / PT.	WOOD				
207	3'-0"	7'-0"	1 3/4"	D	MDF/PT	3/4"	WD. / PT.	WOOD				
208	3'-0"	7'-0"	1 3/4"	D	MDF/PT	3/4"	WD. / PT.	WOOD				
209	3'-0"	7'-0"	1 3/4"	D	MDF/PT	3/4"	WD. / PT.	WOOD				
210	3'-0"	7'-0"	1 3/4"	D	MDF/PT	3/4"	WD. / PT.	WOOD				

W I N D O W S C H E D U L E												
ALL WINDOW UNITS TO BE FURNISHED WITH IMPACT RESISTANT GLAZING PER 2015 IBC/IRC												
NO.	TYPE	ROUGH OPENING		LITE CUT	MANUFACTURER	PRODUCT	SCREEN	JAMB	DETAILS			REMARKS
		WIDTH	HEIGHT						HEAD	JAMB	SILL	
101	A	3'-0"	3'-0"	1/1	ANDERSEN	P3030		6 11/16"	OH1	CJ1	CS1	CLAD FIXED AWNING
102	A	3'-0"	3'-0"	1/1	ANDERSEN	P3030		6 11/16"	OH1	CJ1	CS1	CLAD FIXED AWNING
103	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
104												N O T U S E D
105												N O T U S E D
106	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
107	A	3'-0"	3'-0"	1/1	ANDERSEN	P3030		6 11/16"	OH1	CJ1	CS1	CLAD FIXED AWNING
E												RELOCATED EXIST WINDOW UNIT
201	B	2'-0"	4'-0"	1/1	ANDERSEN	C14		6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
202	D	6'-4"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	TRIPLE CLAD CASEMENT
203	B	2'-0"	3'-0"	1/1	ANDERSEN	C13	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
204	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
205	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
206	D	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
207	D	2'-0"	3'-0"	1/1	ANDERSEN	C13	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
208	D	2'-0"	3'-0"	1/1	ANDERSEN	C13	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
209	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
210	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
211	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
212	B	2'-0"	3'-0"	1/1	ANDERSEN	C13	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
213	D	6'-4"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	TRIPLE CLAD CASEMENT
214	B	2'-0"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	CLAD CASEMENT
215	D	6'-4"	4'-0"	1/1	ANDERSEN	C14	✓	6 11/16"	OH1	CJ1	CS1	TRIPLE CLAD CASEMENT

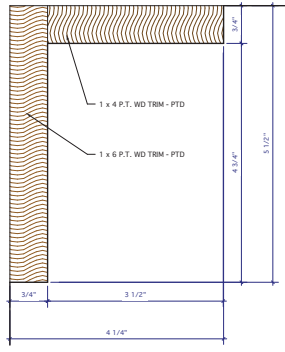
R O O M F I N I S H S C H E D U L E												
RM #	NAME	FLOOR	BASE/TRIM TYPE		WALLS - MATERIAL / FINISH	CEILING			REMARKS			
			MATERIAL	FINISH		CASING	HEIGHT	MAT/FINISH		CROWN		
100	EXISTING HORSE STALL		EXIST		WOOD SIDING - PAINT	VARIABLES			RENOVATED UNCONDITIONED SPACE			
101	WAITING AREA		CONC	TILE	A	WD. - PAINT	CEM BD - PT	A	10'-6"	GYP. BD. - PT.	A	
102	RECEPTION / BUSINESS		CONC	TILE	A	WD. - PAINT	M. & G. GYP. BD. - PAINT	A	10'-6"	GYP. BD. - PT.	A	
103	LAVATORY		CONC	TILE	A	WD. - PAINT	GYP. BD. - PAINT	A	10'-6"	GYP. BD. - PT.	A	
104	FEED STORAGE		WOOD	NAT	A	WD. - PAINT	GYP. BD. - PAINT	A	10'-6"	GYP. BD. - PT.	A	
105	TACK ROOM		WOOD	NAT	A	WD. - PAINT	GYP. BD. - PAINT	A	10'-6"	GYP. BD. - PT.	A	
200	EXISTING UPPER FLOOR								EXISTING - NO CHANGE			
201									N O T U S E D			
202	DAYROOM		WD	NAT	B	WD. - PAINT	GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	
203	STORAGE		WD	NAT	B	WD. - PAINT	M. & G. GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	
204	BATH		PLYWD	CMU	B	WD. - PAINT	M. & G. GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	
205	CHARLES'S OFFICE		WD	NAT	B	WD. - PAINT	GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	
206	LECLE'S OFFICE		WD	NAT	B	WD. - PAINT	GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	
207	STORAGE		WD	NAT	B	WD. - PAINT	GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	
208	OFFICE		WD	NAT	B	WD. - PAINT	GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	
209	GALLERY		WD	NAT	B	WD. - PAINT	GYP. BD. - PAINT	B	8'-6"	GYP. BD. - PT.	A	



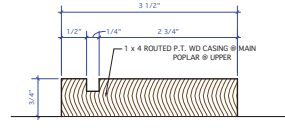
7 CROWN B SCALE: FULL



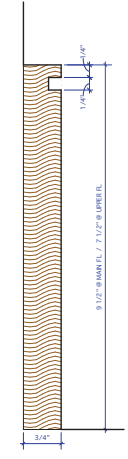
3 TYPICAL WINDOW STOOL SCALE: FULL



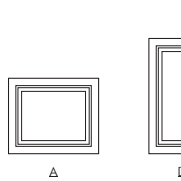
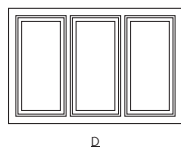
6 CROWN A SCALE: FULL



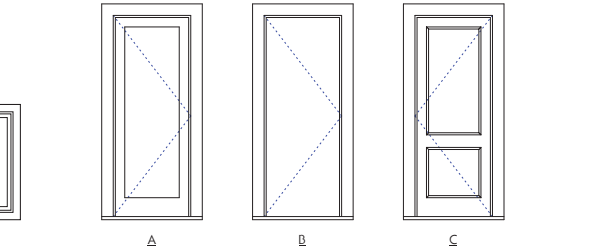
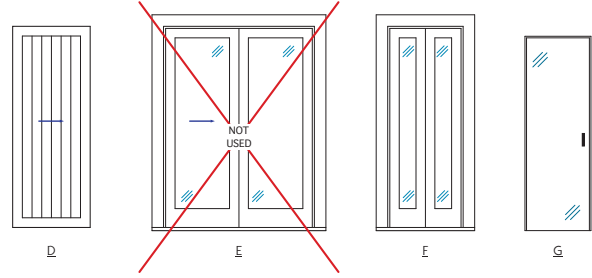
4 TYPICAL CASING SCALE: FULL



5 BASE A/B SCALE: FULL



2 WINDOW ELEVATIONS SCALE: 1/2\"/>



1 DOOR ELEVATIONS SCALE: 1/2\"/>

Addition & Alteration to Exist Barn

The Club @ Seabrook Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

PERMIT SET

SCHEDULES & ELEVATIONS	
MICHAEL E. KARANIS ARCHITECT, L.L.C.	
P. O. Box 22056, Charleston, SC 29413	
<p>CONSENT AND USE OF DOCUMENT</p> <p>I, the undersigned, hereby consent and authorize the use of this document for the project described herein, and I agree to hold the architect harmless from and defend the architect against any and all claims, damages, costs, and expenses, including reasonable attorney's fees, that may be asserted against the architect by any third party as a result of my use of this document.</p> <p>Scale: AS NOTED Drawn: MK Checked: MK</p> <p>Date: AUGUST 30, 2018 Drawing No.: A7.1</p> <p>Commission No.: SC 1729</p>	

GENERAL NOTES:

- FOUNDATION AND STRUCTURAL MEMBERS SHALL BE ANCHORED TO RESIST FLOATATION, COLLAPSE & LATERAL MOVEMENT DUE TO THE EFFECTS OF WIND AND WATER ASSOCIATED WITH THE BASE FLOOD ELEVATION AND IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR THE STABILITY OF THE STRUCTURE DURING ALL PHASES OF THE CONSTRUCTION PROCESS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, REFER TO THE MECHANICAL AND ELECTRICAL PLANS FOR SIZE AND LOCATION OF ALL OPENINGS FOR DUCTS, PIPES, CONDUITS, ETC. NOT SHOWN.
- IN CASE OF CONFLICT BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE SUBSTANTIAL REQUIREMENT SHALL BE ASSUMED TO GOVERN UNTIL A RULING IS MADE BY THE ARCHITECT AND/OR ENGINEER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR ALL STRUCTURAL COMPONENTS THAT REQUIRE SHOP DRAWINGS. STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTION SHEETS, OR CONSTRUCTION DRAWINGS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND ONE SET OF PRINTS FOR REVIEW AND APPROVAL. THE PRINTS SHALL BE CLEARLY MARKED "FOR FILE". SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND CONSTRUCTION PROCEDURES PRIOR TO REVIEW BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. PROCEEDING WITH THE WORK WITHOUT APPROVED SHOP DRAWINGS SHALL BE AT THE CONTRACTORS OWN RISK.
- THE CONTRACTOR SHALL BUILD THIS PROJECT IN STRICT ACCORDANCE WITH THE MOST CURRENT EDITION OF ALL APPLICABLE CODES AND STANDARDS THAT GOVERN THE WORK.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY ERRORS OR INCONSISTENCIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL DROPPED FLOOR AREAS, FLOOR DRAINS, AND ANY OTHER DETAILS NOT SHOWN ON STRUCTURAL PLANS THAT AFFECT THE WORK.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL DRAWINGS THAT RELATE TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES, IN CASE OF CONFLICT, CONTACT THE ARCHITECT AND/OR ENGINEER.

GEOTECHNICAL:

- THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS INDICATED IN THE GEOTECHNICAL REPORT, IF SUPPLIED. ALL GEOTECHNICAL QUESTIONS ARE TO BE DIRECTED TO THE GEOTECHNICAL ENGINEER VIA THE ARCHITECT IN WRITING.
- IF THIS FOUNDATION DESIGN HAS BEEN PREPARED IN THE ABSENCE OF A SOILS REPORT, A SOIL BEARING CAPACITY OF 1500 PSF IS TO BE ASSUMED. THE REASONABLENESS OF THIS ASSUMPTION SHOULD BE VERIFIED PRIOR TO COMMENCEMENT OF FOUNDATION WORK FOR THIS PROJECT.
- TOP OF ALL FOOTINGS SHALL BE MINIMUM OF 8" BELOW THE FINISHED GRADE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ANY AND ALL EXCAVATION SLOPES OR ANY OTHER EXCAVATION SITUATIONS.
- THE EXPOSED SOIL SURFACE AFTER EXCAVATION SHALL BE COMPACTED TO MINIMUM OF 98% OF THEIR STANDARD PROCTOR MAXIMUM DRY DENSITY TO COMPLY WITH ASTM D698 TO A DEPTH OF 8".

CONCRETE:

- ALL CONCRETE AND REINFORCING SHALL BE INSTALLED TO COMPLY WITH THE STANDARDS SET FORTH IN THE LATEST EDITION OF AC-318.
- INSTALL CONCRETE AS REQUIRED, IF REQUIRED ADDITIONAL REINFORCEMENT SHALL BE PROVIDED BY THE CONTRACTOR TO PROVIDE SUPPORT IN FOOTINGS.
- CONCRETE PADS SHALL BE SIZED AND LOCATED PER THE ARCHITECTURAL DRAWINGS, AS WELL AS THE MECHANICAL AND ELECTRICAL PLANS IN ADDITION TO THE STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR MEMBERS ARE PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING ANY CONCRETE. THE REBAR IS TO REMAIN IN POSITION DURING THE CONCRETE PLACEMENT.
- ALL REINFORCEMENT SHALL BE HELD IN PLACE DURING THE PLACEMENT OF CONCRETE FOR ALL BARS. PROVIDE 3" CONCRETE COVER FOR ALL REINFORCEMENT IN FOUNDATIONS
- NON-SHRINK POURABLE GROUT SHALL BE USED UNDER ALL COLUMN AND BEAM BASE PLATES ONCE MATERIAL IS SET, PLUMB AND LEVEL.
- ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60, MINIMUM LAP SHALL COMPLY WITH AC-318.
- ALL WELDED WIRE FABRIC SHALL BE OVERLAPPED 1'-0" MINIMUM AT SIDES AND ENDS AND BE ADEQUATELY TIED. FIBERMESH MAY BE USED AS AN OPTION
- ALL CONCRETE SHALL BE COMPACTED WITH HIGH FREQUENCY, INTERNAL MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND SPADING AND TAMPING AS NECESSARY.

- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WHEN THE CONCRETE IS TO BE PLACED AND CURED DURING VERY COLD OR HOT WEATHER. THE CONTRACTOR SHALL FOLLOW THE PROCEDURES ESTABLISHED BY THE ACI FOR HOT AND COLD WEATHER PLACEMENT.
- SLABS ON GRADE SHALL BE REINFORCED WITH W6# W1, A4W1.4 WWM OR FIBERMESH ON COMPACTED SUBGRADE W/ 6 MIL POLY VAPOR BARRIER.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE ENGINEER.
- CHAMFER ALL EXPOSED CONCRETE EDGES 3/4".
- CURING OF CONCRETE SHALL BE MADE WITH LIQUID MEMBRANE CURING COMPOUND AND BE APPLIED TO COMPLY WITH MANUFACTURERS SPECIFICATIONS.
- STRUCTURAL CONTROL JOINTS IN GROUND SLABS SO THAT THE GROUND SLAB LENGTH TO WIDTH RATIO DOES NOT EXCEED 1.5. (MAX PANEL SIZE = 300 SF)
- ALL CONCRETE SHALL NOT EXCEED 4" SLUMP.
- THE 28 DAY COMPRESSIVE STRENGTH FOR ALL CONCRETE SHALL BE:
 - FOOTINGS 3000 PSI
 - SLABS ON GRADE 3000 PSI
 - STEPS ON GRADE 3000 PSI
 - COLUMNS 4000 PSI
 - PIERS 4000 PSI

MASONRY:

- FOR ALL BEAM BEARING LOCATIONS ON MASONRY WALLS, CONTRACTOR SHALL FILL MASONRY CELLS WITHIN 2'-0" OF BEAM BEARING WITH A MINIMUM 3,000 PSI PEA GRAVEL CONCRETE. A #5 BAR SHALL BE SUPPLIED IN EACH OF THESE CELLS AND TIED TO THE FOOTING REINFORCEMENT.
- A #5 BAR SHALL BE PLACED AT EACH SIDE, TOP, AND BOTTOM OF ALL OPENINGS. ALL HORIZONTAL AND VERTICAL REINFORCING SHALL EXTEND A MINIMUM OF 30" BEYOND THE OPENING.
- ALL LINTEL BEAMS SHALL BEAR A MINIMUM OF 12" ON EACH SIDE OF THE OPENINGS. ALL CELLS UNDER THE BEARING POINTS SHALL BE REINFORCED WITH A #5 BAR IN EACH CELL AND TIED TO THE FOOTING REINFORCEMENT.
- CONCRETE MASONRY SHALL HAVE A MINIMUM FD OF 1,500 PSI. THIS IS ACHIEVED BY A CONCRETE BLOCK MASONRY UNIT WITH A NET AREA COMPRESSIVE STRENGTH OF 2000 PSI WHEN USED WITH TYPE M OR S MORTAR.
- THE CONTRACTOR SHALL INSTALL REINFORCEMENT PLACEMENT WALL TIES TO ENSURE THAT THE REINFORCEMENT IS PROPERLY PLACED.
- ALL RUNNING BOND MASONRY SHALL HAVE 9 GAUGE GALV. LADDER TYPE JOINT REINFORCEMENT @ 16" o/c VERTICALLY. AT ALL WALL CORNERS AND ALL INTERSECTIONS PREFORMED BED JOINT REINFORCEMENT SHALL BE USED.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WHEN MASONRY WORK IS TO BE ERCTED DURING COLD WEATHER (AMBIENT TEMPERATURE BELOW 40° F). DURING HOT WEATHER (ABOVE 90° F) PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EXCESS HEAT OR COLD IN THE MASONRY UNITS, WATER, AND MORTAR. THE CONTRACTOR IS TO BE ADVISED TO FOLLOW THE RECOMMENDATIONS SET FORTH BY THE PORTLAND CEMENT ASSOCIATION FOR COLD OR HOT WEATHER APPLICATIONS.
- FILL ALL CELLS BELOW FLOOR FRAMING (RETAINING WALLS) ON CONTAINING REINFORCEMENT WITH 3000 PSI PEA GRAVEL CONCRETE. PLACE CONCRETE IN LIFTS THAT ARE NO HIGHER THAN 5 FEET. ALL MASONRY UNITS SHALL BE CLEAN AND DRY PRIOR TO FILLING WITH CONCRETE. REINFORCING SHALL BE TIED @ SPLICED AS NECESSARY.
- ALL MASONRY SHALL BE PLACED IN FULL MORTAR BED. TYPE M OR S MORTAR SHALL BE USED.
- MASONRY WALLS AT ALL INTERSECTIONS SHALL BE TIED WITH A 1 1/4" x 1 1/4" x 30" LONG STRAP WITH A 3" 90° BEND AT EACH END. STEEL STRAPS SHALL BE INSTALLED IN THE MORTAR BED AT 48" ON CENTER VERTICALLY.
- TYPICAL MASONRY REINFORCEMENT SPLICES SHALL BE AS FOLLOWS:
 - #4 BARS - 24" LAP
 - #5 BARS - 30" LAP
 - #6 BARS - 36" LAP
 - #7 BARS - 42" LAP
 - #8 BARS - 48" LAP
- SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY CONTROL JOINTS AND BRICK EXPANSION JOINTS. ALL CONTROL AND EXPANSION JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE NATIONAL CONCRETE MASONRY ASSOCIATION. IN NO CASE SHALL EXTERIOR WALL JOINTS BE SPACED GREATER THAN 25 FEET AND INTERIOR WALL JOINTS SHALL NOT EXCEED 30 FEET ON CENTER.
- THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS FOR REINFORCEMENT SHOWING THE NUMBER, SIZE, AND LOCATION, INCLUDING BAR LISTS AND DIAGRAMS FOR THE COMPLETION OF THE WORK.
- ALL MASONRY OPENINGS SHALL BE PROVIDED WITH A "CASTCRETE" OR "POWER STEEL" LINTEL BEAM W/ (2) #5 REBAR IN BOTTOM. PROVIDE TEMP SUPPORT 5'-0" o/c MAX. SPACING FOR 10 DAYS AFTER CONCRETE CURE.

STRUCTURAL & MISC. STEEL:

- ALL FRAMING AND MISCELLANEOUS STEEL SHALL BE WELDED WITH A FILLET ALL AROUND UNLESS NOTED OTHERWISE. WELD SIZE SHALL BE THE MAXIMUM ALLOWED BY THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" BASED ON THE THICKNESS OF THE MATERIAL.
- SHOP AND FIELD CONNECTIONS NOT DETAILED ON THE DRAWINGS MAY BE WELDED OR BOLTED. CUTS, HOLES, COPING, ETC. REQUIRED FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND BE FABRICATED AT THE SHOP. FIELD CUTTING AND/OR BURNING IS NOT PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE WEB REINFORCEMENT AT ALL OPENINGS IN STEEL MEMBERS INCLUDING BEAMS, JOISTS, AND GRIDERS.
- ALL LUMBER STEEL BEAMS SHALL HAVE A YIELD STRESS OF 50 KSI. PLATES, ANGLES, AND MISC. STEEL SHALL COMPLY WITH THE LATEST EDITION OF ASTM A-36. UNLESS OTHERWISE NOTED, STEEL PIPES SHALL COMPLY TO ASTM A-501. STEEL TUBES SHALL CONFORM TO ASTM A-500.
- STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF BEAM ELEVATION AS NOTED ON THE DRAWINGS. IN CASE OF A CONFLICT, THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID AND ADDRESS IT TO THE ENGINEER IN WRITING.
- ALL HARDWARE AND TIE DOWN STRAPS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
- ALL BEAM CONNECTIONS SHALL BE 3/4" DIAMETER BOLTED SLIP CRITICAL TYPE CONNECTIONS A-325 BOLTS UNLESS NOTED OTHERWISE. ALL BEAM AND GRIDER CONNECTIONS UNLESS SHOWN OTHERWISE SHALL BE AT LEAST CAPABLE OF DEVELOPING THE UNFURNISHED DISTRIBUTED LOADING CAPACITY OF MEMBER FOR ITS SPAN AS PER THE AISC MANUAL OF STEEL CONSTRUCTION (LATEST EDITION). ALL OTHER CONNECTIONS THAT ARE NOT INDICATED SHALL BE BOLTED (3/4" DIAMETER) CONNECTIONS USING AN A-325 SLIP CRITICAL TYPE BOLTS UNLESS OTHERWISE NOTED.
- ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS TO COMPLY WITH A.W.S. SPECIFICATIONS (LATEST EDITION). BOTH SHOP AND FIELD WELDER CERTIFICATIONS SHALL BE CURRENT UNTIL THE COMPLETION OF THE STEEL WORK AND MADE AVAILABLE UPON REQUEST OF THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO DELAY SHOP DRAWING APPROVAL IN THE ABSENCE OF THE REQUESTED CERTIFICATES.
- ANCHOR BOLTS SHALL COMPLY WITH ASTM A-307.
- FIELD SPLICES SHALL BE DESIGNED AND CONSTRUCTED TO DEVELOP THE FULL CAPACITY OF THE MEMBER IN BENDING, SHEAR, AND AXIAL LOADING TO COMPLY WITH THE AISC SPECIFICATIONS.
- WELD STIFFENER PLATES ARE TO BE SUPPLIED BY THE CONTRACTOR AT THE END OF STEEL BEAM CANTILEVERS AND IN THE BENDS OF ALL CURVED BEAMS (DIAGONALLY). THE STIFFENER PLATE THICKNESS SHALL EQUAL OR EXCEED THE FLANGE THICKNESS OF THE BEAM.
- USE TWO SLOED WEB ANGLE CONNECTIONS FOR ALL BEAM CONNECTIONS PER AISC SPECIFICATIONS (LATEST EDITION) UNLESS OTHERWISE NOTED OR DETAILED.
- E-70 ELECTRODES TO BE USED FOR ALL WELDING APPLICATIONS.
- ALL STEEL DETAILS AND CONNECTIONS SHALL COMPLY WITH THE LATEST EDITION OF THE AISC SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT DETAILED STRUCTURAL STEEL SHOP DRAWINGS TO INCLUDE COLUMNS, BEAMS, JOISTS, BRIDGING, DECKING, AND ANY CONNECTIONS. THESE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT. STEEL FABRICATOR SHALL SUPPLY EMBEDDED STEEL PLATE AND BRACKET LOCATION DRAWINGS. THE STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTION SHEETS, OR ERECTION PLANS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND ONE SET OF PRINTS FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND ERECTION PROCEDURE PRIOR TO SUBMITTAL TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. THE CONTRACTOR PROCEEDING WITHOUT APPROVED SHOP DRAWINGS IS DOING SO AT HIS OWN RISK.
- ALL STEEL BEAMS AND JOIST GRIDERS SHALL BEAR FULLY ON STEEL BEARING PLATES (TYPICALLY).
 - A CONTINUOUS 3/8" PLATE SHALL BE SHOP WELDED TO THE BOTTOM FLANGE OF ALL BEAMS SUPPORTING MASONRY UNLESS NOTED OTHERWISE.
- THE ENGINEER SHALL VERIFY THAT JOIST AND BEAM BEARING ELEVATIONS ENSURE PROPER ROOF SLOPES TO ALLOW FOR DRAINAGE AND CORRECT FLOOR ELEVATIONS. SEE ARCHITECTURAL DRAWINGS FOR FLASHING, ROOFING, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL PLANS.
- FOR ALL STEEL BEAM LOCATIONS, INSTALL STIFFENER PLATES ON EACH SIDE OF THE WEB AT SUPPORTS AND LOCATIONS OF POINT LOADS FROM BEAMS AND COLUMNS.
- A NON SHRINK GROUT SHALL BE PLACED UNDER ALL COLUMN BASE PLATES AFTER THE STEEL IS SET, PLUMBED, AND LEVELLED.
- GALVANIZED HURRICANE ANCHORS(SIMPSON TYPE HZLS OR H10) SHALL BE USED FOR ALL RAFTER ANCHORAGES AT INTERSECTIONS WITH WALK OR BEAMS. STAINLESS STEEL ANCHORS FOR HURRICANE ANCHORS SHALL BE USED IN AREAS EXPOSED TO THE ATMOSPHERE, FASTENED WITH (SS) RING SHANK NAILS.
- ALL WELDS THAT ARE APPLIED TO ANY EXPOSED STEEL MEMBERS SHALL BE FIELD COATED WITH A ZINC RICH PRIMER.
- ALL STEEL BEAMS AND STEEL COLUMNS SHALL BEAR ON STEEL PLATES (MIN SIZE 7" x 12" x 1/2"). UNLESS NO CONDITION UNDER STEEL BEAR ON WOOD. STEEL FABRICATOR SHALL PROVIDE SHOP DRAWINGS FOR STEEL PLATES AS NEEDED. SHOP DRAWINGS TO BE APPROVED BY THE ARCHITECT/ENGINEER.

- ALL STRUCTURAL STEEL SHALL BE DELIVERED WITH ONE COAT OF PRIMER & SHALL BE FIELD PAINTED W/2 COATS OF PAINT. TOUCH UP AFTER ERECTION.
- COLD-FORMED METAL STUDS SHALL CONFORM TO ASTM A653 (Fy = 33.0 KSI) AND SHALL BE CLARK PCS SERIES (1 - 5/8" FLANGES & 1/2" LPS) SIZED AS INDICATED OR APPROVED EQUIVAL.

WOOD / LUMBER:

- ALL LUMBER SHALL BE CONTINUOUS WITHOUT SPLICES EXCEPT AS NOTED ON THE STRUCTURAL PLANS OR DETAILS.
- ALL WOOD FRAMING SHALL BE SOUTHERN YELLOW PINE #1 NON DENSE OR #2 DENSE U. N. O. ALL STUDS SHALL BE LABELED SFF STUDS.
- ALL TREATED WOOD SHALL COMPLY WITH THE LATEST EDITION OF CODES. FOR LOCATIONS OF TREATED WOOD SEE THE ARCHITECTURAL DRAWINGS & STRUCTURAL DRAWINGS.
- WHERE CELING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS, SUBFLOORING OR METAL STRAPS ATTACHED TO THE ENDS OF THE RAFTERS SHALL BE INSTALLED TO PROVIDE A CONTINUOUS ACROSS THE BUILDING THEREBY PREVENTING THE ROOF RAFTERS TO SPREAD APART. WHERE THE CELING JOISTS ARE NOT PROVIDED AT THE TOP OF THE RAFTER SUPPORT WALLS, THE ROCE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY DESIGNED ROCE BEAM. SEE STRUCTURAL DRAWINGS.
- SOLID BLOCKING TO BE PROVIDED BETWEEN ALL FLOOR JOISTS AT MID-SPAN AND ALL LINES OF JOIST SUPPORT EVEN IF NOT SHOWN ON THE SECTION OR DETAIL DRAWINGS. BLOCKING MAY NOT BE SHOWN ON THE STRUCTURAL SECTIONS OR DETAILS FOR CLARTY.
- ALL NAILING SHALL COMPLY WITH THE STANDARDS SET FORTH IN THE LATEST EDITION OF THE BUILDING CODES.
- WOOD MEMBERS SHALL NOT BE LESS THAN 6" FROM FINISHED GRADE EXCEPT WHERE SOING, SHEATHING, AND WALL FRAMING ARE OF AN APPROVED PRESSURE TREATED OR NATURALLY DURABLE WOOD PRODUCT.
- EXTERIOR WALLS SHALL BE SHEATHED W/ MIN 1/2" EXTERIOR GRADE PLYWOOD WITH BLOCKING AT ALL JOINTS. THE FIRST SHEET OF SHEATHING AT ENTIRE PERIMETER SHALL BE TREATED. PLYWOOD IS TO BE GLED AND NAILED TO ALL STUDS, TOP PLATES, SLL PLATES, BEAMS, AND BLOCKING. THE CONTRACTOR SHALL ATTACH WALL SHEATHING W/ 8d NAILS @ 4" o/c ALONG SHEATHING EDGES AND 6" O.C. AT INTERMEDIATE STUDS, UNLESS THERE IS ANOTHER LAMINATED VENEER LUMBER (LVL) OR GILGAM AS CALLED FOR SHALL BE EQUALLY TO NAILING PATTERN INDICATED ON THE DRAWINGS. ALL NAILS SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED OTHERWISE.
- INSTALL EXTRA CONTINUOUS STUDS, NOT JACK STUDS. STUDS SHALL BE INSTALLED AT ALL JAMBS TO REPLACE THE TYPICALLY SPACED STUDS INTERRUPTED BY THE OPENING.
- SUBFLOOR MATERIAL SHALL BE 3/4" TONGUE AND GROOVE EXT GRADE GRAE SHEATHING. ALL FLOOR DECKING SHALL BE GLED AND SCREW NAILED AT ALL SUPPORTS WITH A NAILING PATTERN OF 8d NAILS @ 6" o/c ALONG EDGES AND 12" o/c ALONG ALL INTERMEDIATE SUPPORTS/JOISTS UNLESS OTHERWISE NOTED.
- EXTERIOR WALLS SHALL BE TIED TO GRIDERS WITH SIMPSON LST430 (OR EQUAL) STRAP TIES (FASTEN TO STUD) AT 6'-0" o/c AND TIED W/ 1/2" CDX PLYWOOD FROM TOP PLATE TO CMU WALL TIMBER PLATE. EXTERIOR GRIDER CONNECTIONS SHALL ALSO BE TIED W/ SIMPSON LST430 (OR EQUAL) STRAP TIES AT MAX. 6'-0" o/c.
- GILGAM BEAMS SHALL BE "PARALLAM" WITH 2900 PSI BENDING STRENGTH, 2,000,000 PSI MODULUS OF ELASTICITY BY TRUS JOIST MAXIMLIMAN.
- NON-TREATED WOOD MEMBERS SUPPORTED ON MASONRY SHALL BEAR ON TREATED TIMBER PLATES.
- FLOOR JOISTS SHALL BE FASTENED TO SUPPORTS WITH HURRICANE ANCHORS (SIMPSON TS12 OR EQUAL).
- ALL PLYWOOD SHEATHING SHALL HAVE 1/8" SPACE BETWEEN SHEETS, (EXCEPT FOR AREAS THAT CALL FOR 1/8" PLYWOOD).
- ALL ROOF RAFTER ENDS SHALL BE ANCHORED WITH WIND UPLIFT ANCHOR BY SIMPSON OR EQUAL. SUCH ANCHORS SHALL BE USED AT JOINTS BETWEEN PLATES, STUDS, AND SLL PLATES TO PROVIDE A PATH OF UNBROKEN UPLIFT RESISTANCE FROM THE ROOF TO THE FOUNDATION.
- ROOF FRAMING SHALL BE SHEATHED W/ 5/8" CDX PLYWOOD AND FASTENED W/ 10d NAILS AT 3" O.C. ALONG ALL EDGES AND 6" O.C. ALONG INTERMEDIATE MEMBERS. ALL EDGES TO BE NAILED AROUND PERIMETER EDGES OF THE ROOF'S 1ST SHEET OF PLYWOOD. (PROVIDE BLOCKING AS NECESSARY).
- LOAD BEARING WALLS AND/OR SHEAR WALLS LOCATED PERPENDICULAR TO FLOOR JOISTS SHALL HAVE SOLID BLOCKING SECURELY PLACED BETWEEN THE FLOOR MEMBERS. THIS SOLID WOOD BLOCKING SHALL BE FOR THE FULL DEPTH OF THE FLOOR MEMBERS AND BE LOCATED DIRECTLY UNDER THE WALL FOR THE FULL BEARING WIDTH AND LENGTH OF THE WALL CONSTRUCTION.
- TIMBERS PILES SHALL HAVE A MINIMUM TIP DIAMETER OF 8" & SHALL BE PRESSURE TREATED. PILES SHALL CONFORM TO ASTM A251 LENGTHS SHALL BE AS INDICATED ON THE DRAWINGS.
- FLOOR JOISTS / TRUSSES UNDER PARALLEL WALLS SHALL BE DOUBLED UNLESS A BEAM IS INDICATED.
- PROVIDE 1/2" EXT GR PLYWOOD OR OSB PANELS FOR ALL EXTERIOR DOORS AND WINDOWS. PRE-CUT PANELS SHALL BE FASTENED TO EXTERIOR WALL CONSTRUCTION IN ACCORDANCE WITH TABLE R301.2.1.2 ON PAGE 41 OF THE 2015 IRC CODE IF IMPACT GLAZING IS NOT PROVIDED IN THE DOORS AND WINDOWS.

DESIGN CRITERIA:

THIS PROJECT HAS BEEN DESIGNED TO MEET THE STRUCTURAL REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE.

- WEATHERING FOR CONCRETE - MODERATE
- TERMITE INFESTATION PROTECTION - VERY HEAVY
- DECAY PROBABILITY - MODERATE TO SEVERE
- WINTER DESIGN TEMPERATURE - 27'
- FAST LINE DEPTH - 12"

SEISMIC CRITERIA

- 1) SEISMIC USE GROUP = USE GROUP II
- 2) MAPTED SPECTRAL RESPONSE COEFFICIENTS - S₁ = 1.66, S₂ = 0.47
- 3) SITE CLASS - D (575F SOIL PROFITY)
- 4) SPECIFIC RESPONSE COEFFICIENTS S_a = 1.1g, S_v = 0.5g
- 5) SEISMIC DESIGN CATEGORY = CATEGORY D2
- 6) BASIC SEISMIC FORCE RESISTING SYSTEM = LIGHT-FRAMED WALLS W/SHEAR WALLS
- 7) DESIGN BASE SHEAR = 18.2 KIPS
- 8) SEISMIC RESPONSE COEFFICIENT C = 0.50
- 9) ANALYSIS PROCEDURE = SIMPLIFIED ANALYSIS PROCEDURE
- 10) RESPONSE MODIFICATION FACTOR (R) = 6.0

WIND LOAD DESIGN DATA

- 1) BASIC WIND SPEED (ULTIMATE) = 150 M.P.H. (PER ASCE 7-10)
- 2) WIND IMPORTANCE FACTOR (IE BUILDING CATEGORY = CATEGORY II)
- 3) WIND EXPOSURE = EXPOSURE C
- 4) APPLICABLE INTERNAL PRESSURE COEFFICIENT (GC) = +0.18 (-0.18)
- 5) COMPONENTS & CLADDING DESIGN WIND PRESSURE = +52.0 PSF & -64 PSF (OF 63)

SNOW LOAD DESIGN DATA

- 1) GROUND SNOW LOAD = 5 PSF

FOUNDATION DESIGN DATA

- 1) ALLOWABLE SOIL BEARING PRESSURE = 1,500 PSF

LOAD DATA

- ROOF LIVE LOAD = 20 PSF
- FLOOR LIVE LOAD = 100 PSF
- DEAD LOAD = EQUAL SELF WEIGHT
- ATTIC LIVE LOAD = 20 PSF

PRE MANUFACTURED WOOD COMPONENTS:

- FLOOR & ROOF TRUSSES/JOISTS SHALL BE DESIGNED TO THE FOLLOWING SPECIFICATIONS:
 - 150 MPH WIND LOAD (W/ APPROPRIATE SHAPE FACTORS)
 - TOP CHORD - DL=ACTUAL LOAD + LL=40 PSF
 - BOTTOM CHORD - DL=ACTUAL LOADS + LL=50 PSF
 - MAX DEFLECTION = L/600
 NOTE: CONTRACTOR TO SUPPLY THE TRUSS MANUFACTURER WITH THE ACTUAL LOADS AND LOCATIONS OF ALL ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS. THE ABOVE STATED UNLESS OTHERWISE NOTED. LOADS SHALL BE CONSIDERED AS THE MINIMUM REQUIREMENTS
- ALL ROOF TRUSSES AND RAFTER ENDS SHALL BE ANCHORED WITH WIND UPLIFT CONNECTORS BY SIMPSON OR EQUAL. SUCH ANCHORS ARE TO BE USED BETWEEN THE JOINTS OF PLATES, STUDS, AND SLL PLATES TO PROVIDE AN UNBROKEN PATH OF UPLIFT RESISTANCE FROM THE ROOF TO THE FOUNDATION.
- WOOD COMPONENT MANUFACTURER SHALL COORDINATE ALL THE CRITICAL DIMENSIONS WITH THE CONTRACTOR. ANY QUESTIONS OR DISCREPANCIES SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR REVIEW.
- ALL ROOF TRUSSES SHALL BE DESIGNED TO THE FOLLOWING:
 - DEAD LOADS= USE ACTUAL LOADS
 - PARTITION LOADS = 20 PSF
 - LIVE LOAD = APPLICABLE SECTION OF THE BLDG CODE
- FLOOR JOIST/BEAMS AND ENGINEERED WOOD BEAMS SHALL BE DESIGNED TO TAKE INTO CONSIDERATION THE UPLIFT FORCES DUE TO WIND. ADDITIONAL HOLD DOWN HARDWARE SHALL BE PROVIDED TO ACCOUNT FOR ACCUMULATED WIND LOADS AT THE ENDS OF THESE MEMBERS AND A PATH OF CONTINUOUS UPLIFT RESISTANCE PROVIDED TO THE FOUNDATION.
- PROVIDE SOLID WOOD BLOCKING BETWEEN ALL JOISTS AT ALL LINES OF JOIST SUPPORT EVEN IF NOT SHOWN ON THE SECTION OR DETAIL DRAWINGS. BLOCKING MAY NOT BE SHOWN ON THE STRUCTURAL DRAWINGS FOR CLARTY.
- TRUSS MANUFACTURER SHALL BE RESPONSIBLE TO DETERMINE THE LOCATIONS OF ALL POINT LOADS ON TRUSSES AND GRIDERS.
- CONTRACTOR SHALL PROVIDE MULTIPLE STUDS UNDER THE ENDS OF ALL WOOD GRIDERS AND BEAMS TO ACCORD FOR END REACTIONS. ENOUGH ADDITIONAL STUDS SHALL BE ADDED IN WALLS AT SUPPORT POINTS TO ALLOW FOR FULL BEARING OF MEMBERS. IN NO CASE SHALL LESS THAN THREE STUDS PER BEARING LOCATION BE PROVIDED.
- CONTRACTOR TO PROVIDE HOLD DOWN ANCHORS (TYPE HELIX BY SIMPSON) AT ENDS OF ALL SHEAR WALLS, DOOR JAMBS, AND EDGE OF ALL WALL OPENINGS EXTENDING TO FLOOR IN SHEAR WALL CONSTRUCTION. (IF SHOWN ON THE DRAWINGS)
- NO OPENINGS, NOTCHES, OR MODIFICATIONS TO THE WOOD COMPONENTS SHALL BE DONE IN THE FIELD WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION OF THE COMPONENT DESIGNER.
- PRE MANUFACTURED WOOD TRUSS SUPPLIER TO PROVIDE ALL THE NECESSARY TEMPORARY AND PERMANENT BRACING THAT PROVIDE LATERAL STABILITY TO THE TRUSS SYSTEM. PRE MANUFACTURED TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO FABRICATION. THESE TRUSS DRAWINGS WILL BE REQUIRED TO HAVE THE SEAL OF A REGISTERED ENGINEER IN THE STATE OF THE PROPOSED PROJECT.
- PLYWOOD JOISTS SHALL BE 7.85SSP OR 7.13SSP BY TRUS JOIST MACMALLAN AS SHOWN ON THE STRUCTURAL DRAWINGS OR ARCHITECT / ENGINEER APPROVED ALTERNATE.

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2013 Seabrook Island Rd
Seabrook Island, SC

PERMIT SET

Revisions:

STRUCTURAL GENERAL NOTES

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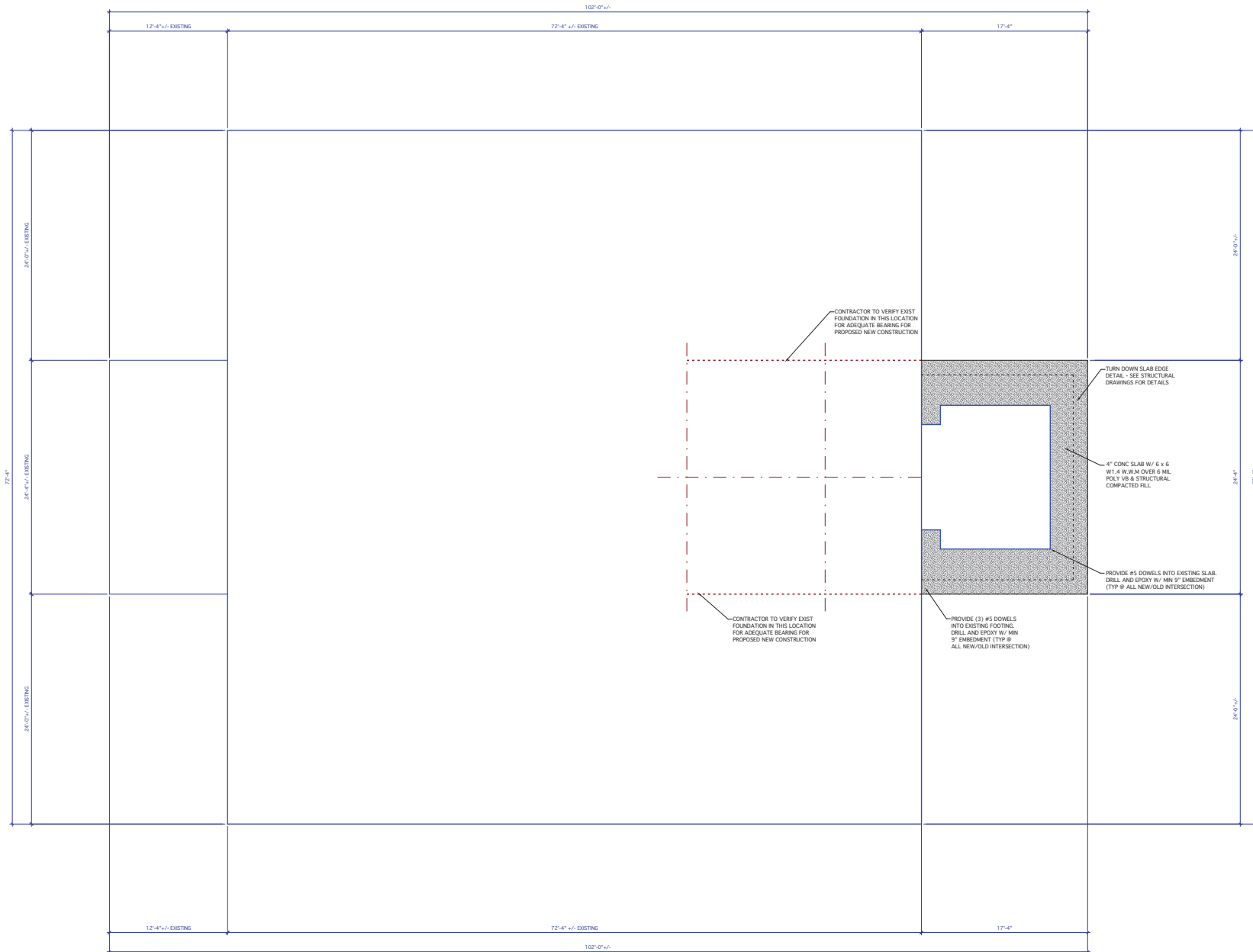
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Date: AUGUST 30, 2018
Commitment No.: SC 1729

Drawn: MK
Checked: MK
Drawing No.: **\$1.0**

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET



FOUNDATION PLAN

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Date:	AUGUST 30, 2018	Drawing No.:	S1.1		
Commission No.:	SC 1729				

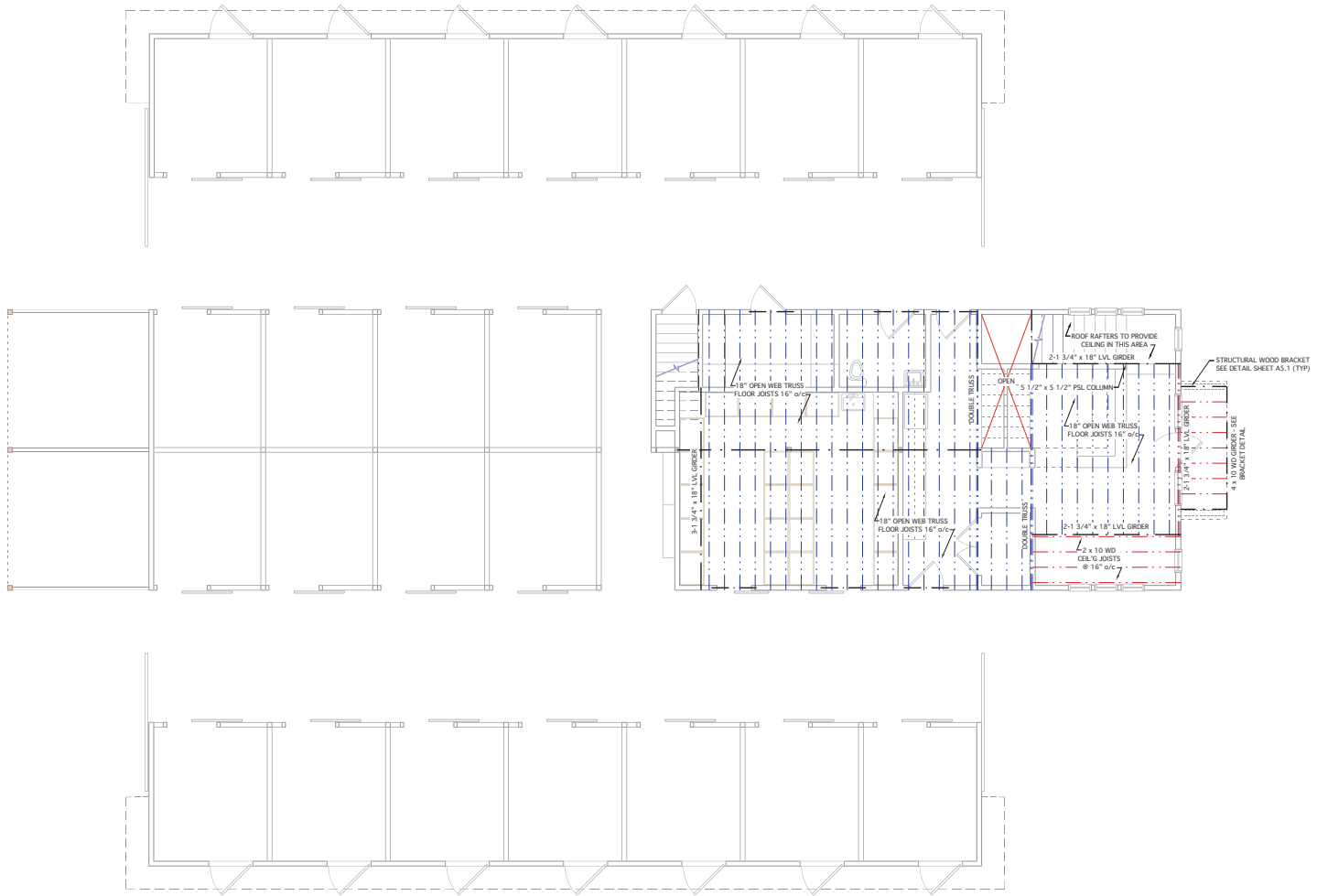
NOTE:
1. CONTRACTOR SHALL USE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS & BUILDING LAYOUT.

1 FOUNDATION PLAN
S1.1

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
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UPPER FLOOR FRAMING PLAN

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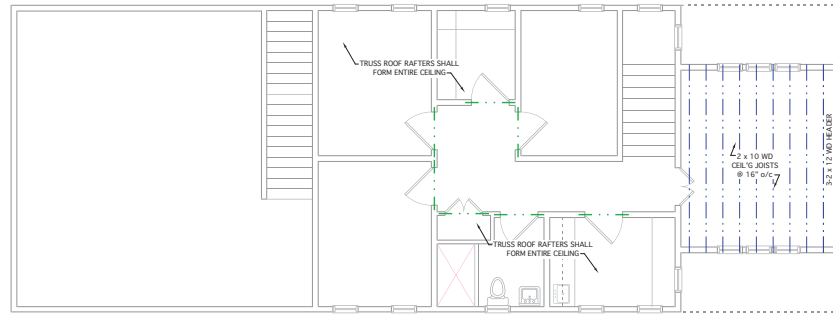
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Commission No.:	SC 1729				

- NOTE:**
1. ALL EXTERIOR WALL HEADERS SHALL BE 3-2 x 10 W/ 2-1 1/2" SPACER LVL.
 2. PROVIDE 1 3/4" x 18" LVL RIMBOARD AROUND ENTIRE TRUSS PERIMETER.
 3. ALL COLUMNS TO BE STRUCTURAL.

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

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CEILING FRAMING PLAN

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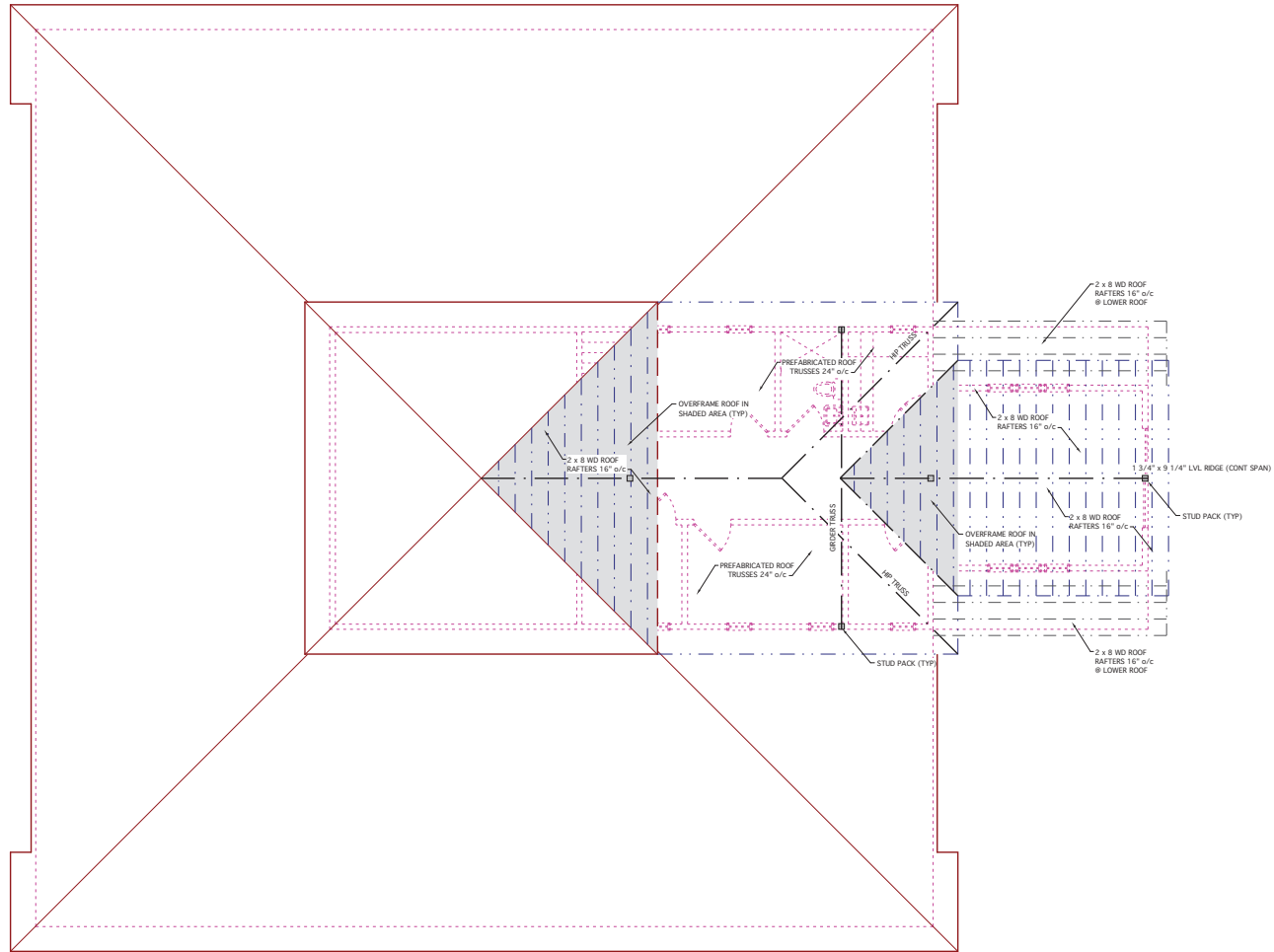
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NOTE:
1. ALL EXTERIOR WALL HEADERS SHALL BE 2x2x8 W/ 1/2" SPACER LUGS
2. SEE BUILDING SECTIONS FOR LOCATION OF 2x4 WOOD COLLAR TIES @ 32" O/C
3. ALL COLUMNS TO BE STRUCTURAL.

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET



NOTE:
1. REMOVE SIMPSON L570 GALV CONNECTOR W/ 2\"/>

1 ROOF FRAMING PLAN
S1.4

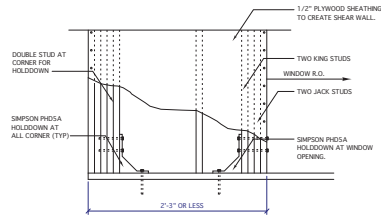
ROOF FRAMING PLAN

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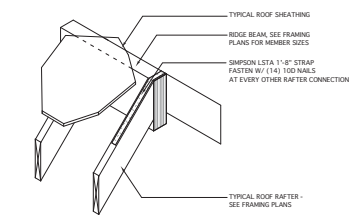


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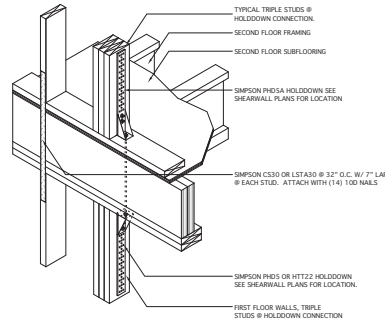
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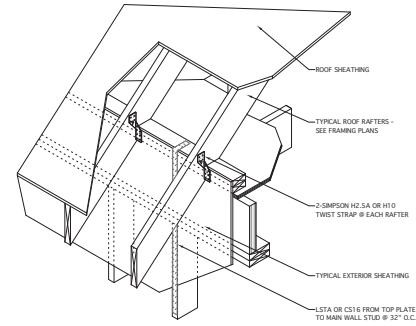
15
S2.1
CORNER HOLDOWN @ WINDOW OPENING
NO SCALE
Corner detail with window opening at all locations where window is within 2'7" from the corner.



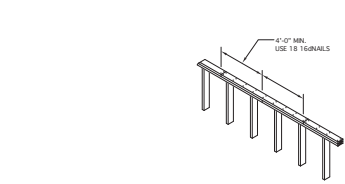
14
S2.1
TYPICAL RIDGE BEAM HOLDOWN



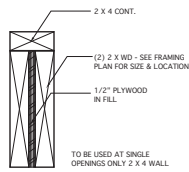
13
S2.1
TYPICAL STORY HOLDOWN DETAIL
NO SCALE



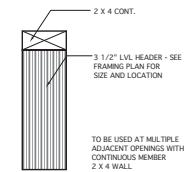
12
S2.1
TYPICAL RAFTER HOLDOWN
NO SCALE



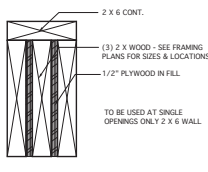
11
S2.1
TOP PLATE FRAMING DETAIL



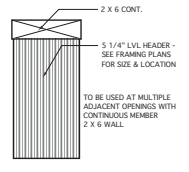
10
S2.1
WOOD HEADER DETAIL
SCALE: 3/4"=1'-0"



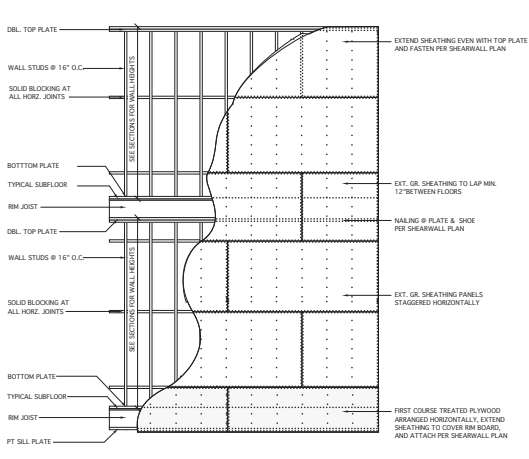
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S2.1
LVL HEADER DETAIL
SCALE: 3/4"=1'-0"



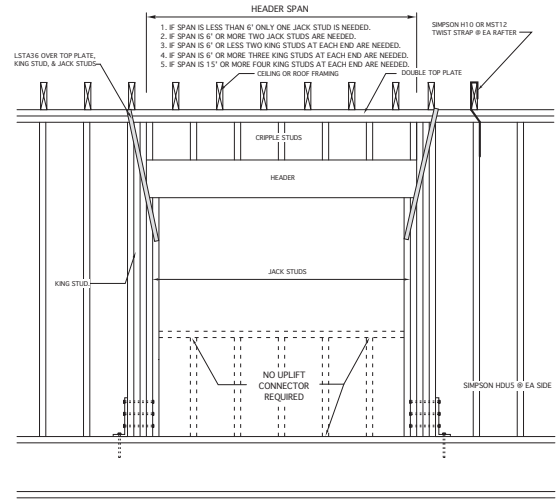
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S2.1
WOOD HEADER DETAIL
SCALE: 3/4"=1'-0"



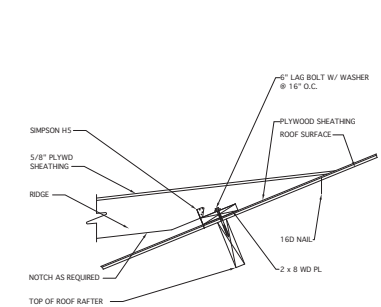
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S2.1
LVL HEADER DETAIL
SCALE: 3/4"=1'-0"



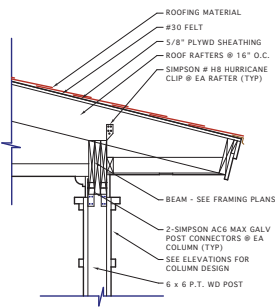
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S2.1
TYPICAL WALL NAILING DIAGRAM
NO SCALE



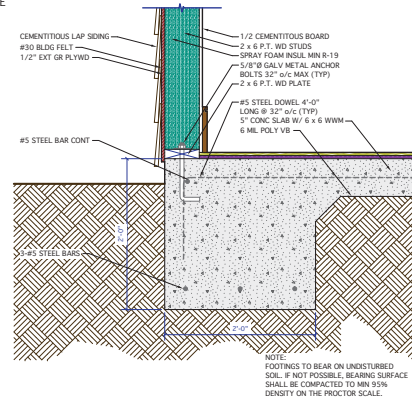
5
S2.1
OPENING FRAMING DETAIL
FOR OPENINGS GREATER THAN 6'-0"



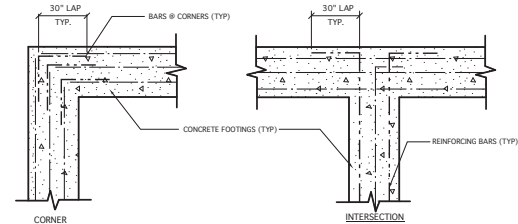
4
S2.1
OVERFRAMING DETAIL
NO SCALE



3
S2.1
COLUMN CONNECTION DETAIL
NO SCALE



2
S2.1
SLAB TURNDOWN EDGE DETAIL
SCALE: 1/4"=1'-0"



1
S2.1
FOOTING REINFORCEMENT DETAIL
NO SCALE

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET

STRUCTURAL DETAILS

MICHAEL E. KARANIS ARCHITECT, L.L.C.
801 Hwy 202, Seabrook, SC 29915

MICHAEL E. KARANIS ARCHITECT, L.L.C.
Professional Seal

SEAL OF SOUTH CAROLINA
MICHAEL E. KARANIS ARCHITECT, L.L.C.
Charleston, SC
Professional Seal

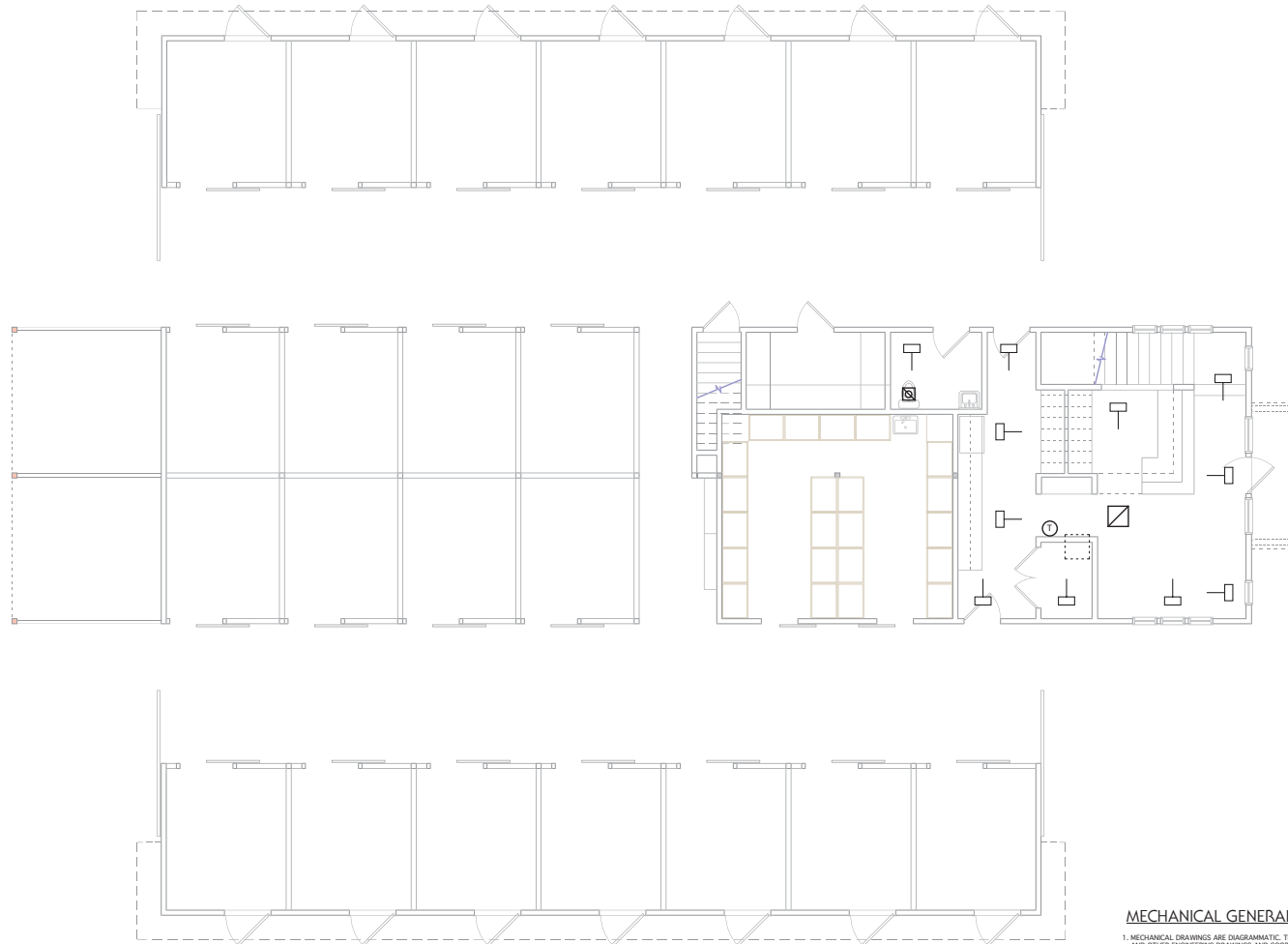
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Date:	AUGUST 30, 2018	Drawing No.:	S2.1		
Commission No.:	SC 1729				

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET



MECHANICAL LEGEND

- SUPPLY REGISTER
- TOE KICK SUPPLY REGISTER
- RETURN AIR REGISTER
- CEILING MOUNTED EXHAUST FAN - DUCT TO OUTSIDE
- THERMOSTAT

MAIN FLOOR MECHANICAL PLAN

MICHAEL E. KARANOUS
ARCHITECT, L.L.C.
 P. O. Box 22050
 Charleston, SC 29413

CONSENT AND USE OF DOCUMENT
 PROJECT: ADDITION AND ALTERATION TO EXISTING BARN AT THE CLUB @ SEABROOK EQUESTRIAN CENTER, SEABROOK ISLAND, SC. THIS DOCUMENT IS THE PROPERTY OF MICHAEL E. KARANOUS ARCHITECT, L.L.C. AND IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF MICHAEL E. KARANOUS ARCHITECT, L.L.C. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS DOCUMENT.

Scale:	Drawn:	Checked:
1/4"=1'-0"	MK	MK
Date:	Drawing No.:	
AUGUST 30, 2018	M1.1	
Commission No.:	SC 1729	

MECHANICAL GENERAL NOTES:

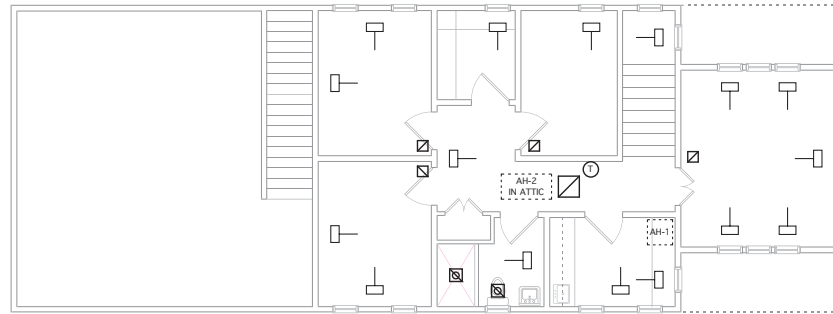
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- DUCT SIZES INDICATED ARE INSIDE CLEAR DIMENSIONS. PROVIDE DUCTWORK IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA'S LOW PRESSURE DUCT CONSTRUCTION STANDARDS. FLEXIBLE DUCT MAY BE USED IN CONCEALED LOCATIONS FOR FINAL CONNECTION TO CEILING-MOUNTED DIFFUSERS AND CABINET FANS. LIMIT FLEXIBLE DUCT LENGTHS TO A TOTAL OF 6 FEET. PROVIDE ALL CURVED DUCT ELBOWS WITH RADIUS RATIOS OF NOT LESS THAN 1.5.
- PROVIDE MANUFACTURER'S RECOMMENDED CLEARANCES FOR OPERATION AND MAINTENANCE OF EQUIPMENT. PROVIDE ACCESS FOR CHANGING FILTERS AND REMOVING FANS AND DRIVES IN THE INDOOR SECTIONS OF ALL AHU'S.
- PROVIDE TRAPPED CONDENSATE DRAIN PIPING FROM ALL UNITS. CONDENSATE PIPING SHALL BE FULL SIZE OF CONNECTION ON UNIT OR 3/4" (WHICHEVER IS LARGER). PROVIDE AUXILIARY CONDENSATE DRAIN PANS ON ALL UNITS WITH A FLOAT SWITCH TO SHUT DOWN UNIT UPON SENSING CONDENSATE IN THE AUXILIARY PAN. ALSO, PROVIDE DRAIN PIPE FROM AUXILIARY PAN.
- PROVIDE MANUAL VOLUME DAMPERS IN THE MAIN RA AND OA DUCTS FOR ALL HEAT PUMPS.
- INSTALL DUCTWORK IN ACCORDANCE WITH SMACNA. PROVIDE 2" THICK FIBERGLASS DUCT INSULATION ON EXTERIOR OF ALL DUCTS. DUCT INSULATION SHALL INCLUDE REINFORCED FIRE-RETARDANT JACKET WITH INTEGRAL VAPOR BARRIER.
- SEAL CLASS C IS REQUIRED FOR ALL JOINTS WITH DUCT STATIC PRESSURE CLASS RATING OF 2" W.G. OR LESS.
- REFRIGERANT PIPING SHALL BE SIZED BY HEAT PUMP MANUFACTURER.
- PROVIDE PROGRAMMABLE THERMOSTATS.
- PROVIDE FOR FRESH / MAKEUP AIR INTAKE FOR SYSTEM TO MAINTAIN A POSITIVE PRESSURE INSIDE BUILDING.

1 MAIN FLOOR MECHANICAL PLAN
M1.1

Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET



MECHANICAL LEGEND

- SUPPLY REGISTER
- TOE KICK SUPPLY REGISTER
- RETURN AIR REGISTER
- CEILING MOUNTED EXHAUST FAN - DUCT TO OUTSIDE
- THERMOSTAT

UPPER FLOOR MECHANICAL PLAN

MICHAEL E. KARAKAS ARCHITECT, L.L.C.	
P. O. Box 2205, Charleston, SC 29413	

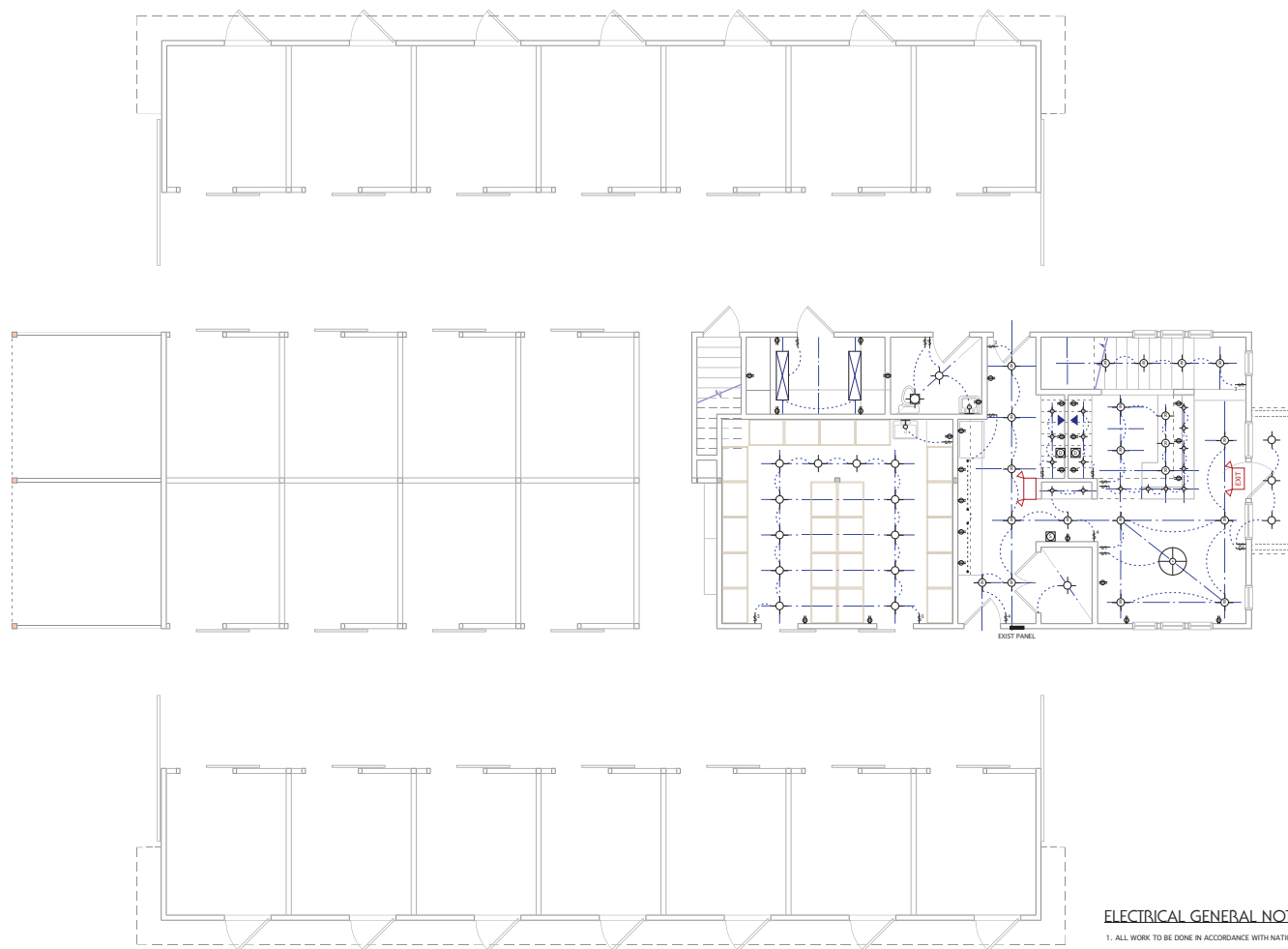
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AUGUST 30, 2018	M1.2	
Commission No.:	SC 1729	

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1 UPPER FLOOR MECHANICAL PLAN
M1.2



Addition & Alteration to Exist Barn

The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET

ELECTRICAL LEGEND

SYMBOL	FEATURE
.....	LINEAR STRIP LIGHT
⊕	JUNCTION BOX
⊕	LIGHT, 4" MIN CAN
⊕	LIGHT, ADJUSTABLE
⊕	LIGHT, RECESSED CAN
⊕	WALL SCENE
⊕	LIGHT, CEILING MOUNT
⊕	2 x 4 F FLUORESCENT 4 LIGHT FIXTURE
⊕	1 x 4 F FLUORESCENT 2 LIGHT FIXTURE
⊕	2 x 2 F FLUORESCENT 0 LIGHT FIXTURE
⊕	CEILING FAN
⊕	EXHAUST FAN W/LIGHT
⊕	EXHAUST FAN
⊕	TELEPHONE
⊕	RECEPTACLE
⊕	RECEPTACLE, WITH GROUND FAULT INDICATOR # 42" A.F. UNLESS NOTED OTHERWISE
⊕	RECEPTACLE, WEATHER RESISTED
⊕	APPLIANCE OUTLET, 200V TYP
⊕	RECEPTACLE, FLOOR
⊕	CABLE TV OUTLET
⊕	CAT 5 DATA MULTI OUTLET
⊕	SWITCH
⊕	SWITCH (2 WAY)
⊕	SMOKE DETECTOR
⊕	ELECTRICAL PANEL
⊕	EXIT LIGHT FIXTURE
⊕	EMERGENCY LIGHT FIXTURE

NOTE: OUTLETS INDICATED TO BE SWITCHED SHALL BE WIRED SUCH THAT THE TOP RECEPTACLE IN THE OUTLET SHALL BE SWITCHED, LOWER RECEPTACLE SHALL REMAIN HOT AT ALL TIMES.

ELECTRICAL GENERAL NOTES:

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2. ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO BEING INSTALLED.
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5. PROVIDE SPARE CIRCUITS AS REQUIRED TO ACCOMMODATE LANDSCAPE LIGHTING.
6. CONTRACTOR TO PROVIDE ALL MATERIAL, LABOR, TRANSPORTATION, AND EQUIPMENT AS REQUIRED FOR A COMPLETE JOB.
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9. BUILDING WIRE TYPE SHALL BE THIN-WALL, COPPER, #12 AWG MIN WIRE SIZE. MINIMUM.
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13. ALL RECEPTACLES TO BE MOUNTED @ 18" A.F.F LIND.
14. ALL SWITCHES, RECEPTACLES & JUNCTION BOXES TO BE FLUSH MOUNTED.
15. ALL WORK TO BE IN ACCORDANCE WITH THE 2012 ELECTRICAL AND ENERGY CODES. THERE SHALL BE A TOTAL OF 60% "ENERGY EFFICIENT" FIXTURES AND / OR LAMPS AS REQUIRED.

MAIN FLOOR ELECTRICAL PLAN

CONSENT AND USE OF DOCUMENTS
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Scale:	1/4" = 1'-0"	Drawn:	MK	Checked:	MK
Date:	AUGUST 30, 2018	Drawing No.:	E1.1		
Commission No.:	SC 1729				

1 MAIN FLOOR ELECTRICAL PLAN
E1.1

Addition & Alteration to Exist Barn

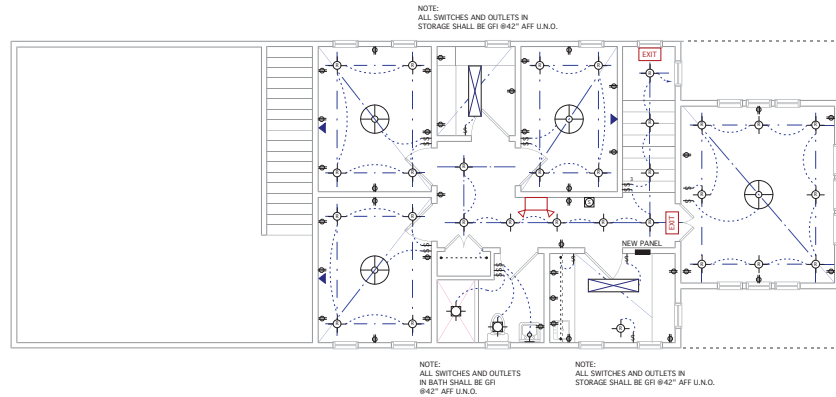
The Club @ Seabrook
Equestrian Center
2313 Seabrook Island Rd
Seabrook Island, SC

Revisions:
PERMIT SET

ELECTRICAL LEGEND

SYMBOL	FIXTURE
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⊕	LIGHT, 4" MIN CAN
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⊕	LIGHT, RECESSED CAN
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⊕	EMERGENCY LIGHT BY EXIT FIXTURE

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UPPER FLOOR ELECTRICAL PLAN

MICHAEL E. KARAVANS ARCHITECT, L.L.C.
 P. O. Box 2205
 Charleston, SC 29413

CONSENT AND USE OF DOCUMENT

PROJECT OF MICHAEL E. KARAVANS ARCHITECT, L.L.C. AS THE ARCHITECT, ENGINEER, AND DESIGNER IS HEREBY APPROVED, DATED THIS 30th DAY OF AUGUST 2018, FOR THE ELECTRICAL WORK SHOWN ON THESE DRAWINGS. THE ARCHITECT, ENGINEER, AND DESIGNER CONSENTS TO MICHAEL E. KARAVANS ARCHITECT, L.L.C. AS THE ARCHITECT, ENGINEER, AND DESIGNER TO SUBMIT THESE DRAWINGS TO THE SOUTH CAROLINA DEPARTMENT OF COMMUNITY AFFAIRS FOR REVIEW AND APPROVAL.

Scale:	1/4" = 1'-0"	Drawn:	MK	Checked:	MK
Date:	AUGUST 30, 2018	Drawing No.:	E1.2		
Commission No.:	SC 1729				



SEABROOK ISLAND
CLUB
Equestrian Center

2313



















MEMORANDUM

TO: Town of Seabrook Island Planning Commission Members
FROM: Joseph M. Cronin, Town Administrator
SUBJECT: Architectural Review: SIPOA Storage Shed
MEETING DATE: September 26, 2018

The Planning Commission is asked to review and approve a request from the Seabrook Island Property Owners Association for construction of a proposed storage shed at the SIPOA Maintenance Facility, located at 2832 Seabrook Island Road.

The property is zoned Commercial-Retail/Office (CRO). While a storage shed or maintenance facility is not expressly listed as a permitted use within the CRO district, § 5.50.20 of the DSO states:

“Any proposed commercial/retail office use not specifically allowed under the permitted uses set forth above may be allowed by the Planning Commission if it finds the proposed use satisfies the following criteria:

- (a) The proposed use complies with all applicable federal, state and local laws and ordinances.
- (b) Development plans for the proposed use minimizes potentially detrimental impacts to the site and surrounding areas and meet all buffer requirements.
- (c) The proposed use assumes safe and convenient ingress and egress from the property and internal circulation, including access of service and emergency vehicles and design of off-street parking and loading areas.
- (d) The proposed use provides safe location and orderly arrangement in the placement of all buildings and structures.
- (e) The proposed use minimizes environmental damage caused by the destruction of natural vegetation.
- (f) The proposed use takes all reasonable means of minimizing intrusions of noise, light, odor, dust and other similar noises into surrounding areas.
- (g) Lighting fixtures and sign placement shall not constitute a hazard to traffic.
- (h) The proposed size, scope and scale of the use requested shall be appropriate for the property upon which it is to be located and may not be inconsistent with the size, scope and scale of other adjoining areas and developments.”

The minimum setbacks within the CRO districts are as follows:

- Abutting streets or roads: 50 feet, except when any lot fronts on a regime-owned private drive or road, in which case such the lot shall have a front setback of **thirty (30) feet** from the front property line. (§ 5.50.40.10.)

- Side: **50 feet**, except on interior lots of a common regime where the adjoining uses are similar in which case the side setback shall be 20 feet from the property line dividing adjoining lots, to be buffered and landscaped. (§ 5.50.40.20.)
- Rear: **35 feet** rear, to be buffered and landscaped. (§ 5.50.40.30.)

In addition, all development within the CRO must meet the parking, signing, fencing, buffering and landscaping requirements of Articles (8) through (12) of the DSO.

The proposed structure will be 30' x 40', with a total area of 1,200 square feet. The proposed colors (Lightstone) and materials (galvanized metal with silicone polyester coating) are consistent with those of the adjacent SIPOA maintenance building and club laundry facility. Plans illustrating the proposed structure, as well as photos of adjacent buildings, are attached for review.

Staff Recommendation

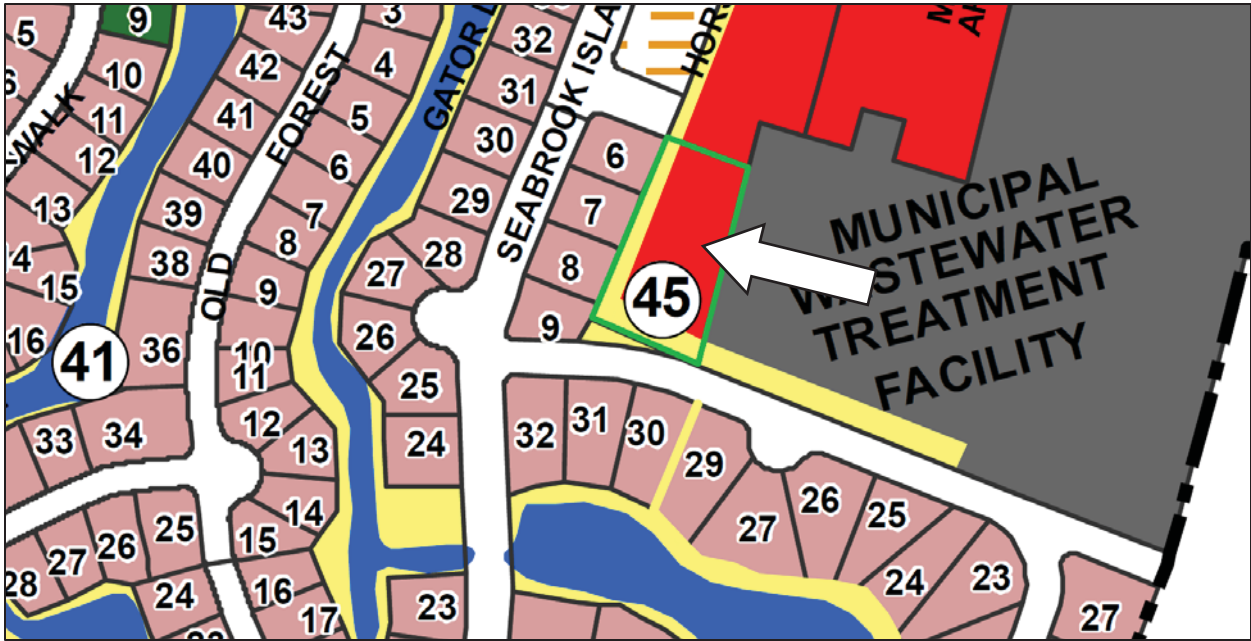
In our opinion, the proposed structure is consistent with the requirements of the town's DSO, and is harmonious with the colors and materials used on surrounding structures. The building will meet all setback requirements and will be sufficiently screened from neighboring uses by existing vegetation. Therefore, staff recommends in favor of **APPROVAL**.

Respectfully submitted,



Joseph M. Cronin
Town Administrator/Zoning Administrator

Zoning Map



Aerial Image



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
Seabrook Island, SC 29455
843-768-9121 (phone)
843-768-9830 (fax)

ZONING PERMIT APPLICATION

Fee Schedule			
Permit for New Construction, Single Family	\$100	Permit Extension	\$100
Permit for Remodeling, Addition, etc.	100	Record Plats - prices vary	
Building, HVAC, Roofing, Plumbing, etc.	25		
Permit for New Construction, Multi-Family	250 + \$5 per unit		
Multiple Bldg Permit, Comm./Multi Family	100		

Date: 9-7-18 TMS #: 149 06 00072

Applicant's Name: SIPOA

Name of Business Contact: Steve Hirsch

Address: 1202 Land Fall Way Phone: 843-768-0061

City: Johns Is State: SC Zip: 29455

Property Owner's Name: same

Address: _____ Phone: _____

City: _____ State: _____ Zip: _____

Property Location Address: Maintenance Shop @ 2832 Seabrook Is. Rd

Lot: — Block: — Base Flood Elev. 12 Zone: AE

Purpose of Permit: construct a storage shed
adjacent to maintenance building

Value of Construction: \$30,000 POA Approval: already approved

Applicant's Signature: [Signature]

**This is an application only. The permit will be issued upon approval by the Town of Seabrook Island.



Johns Island, SC 29455

Shed Location



Imagery ©2018 Google, Map data ©2018 Google 50 ft



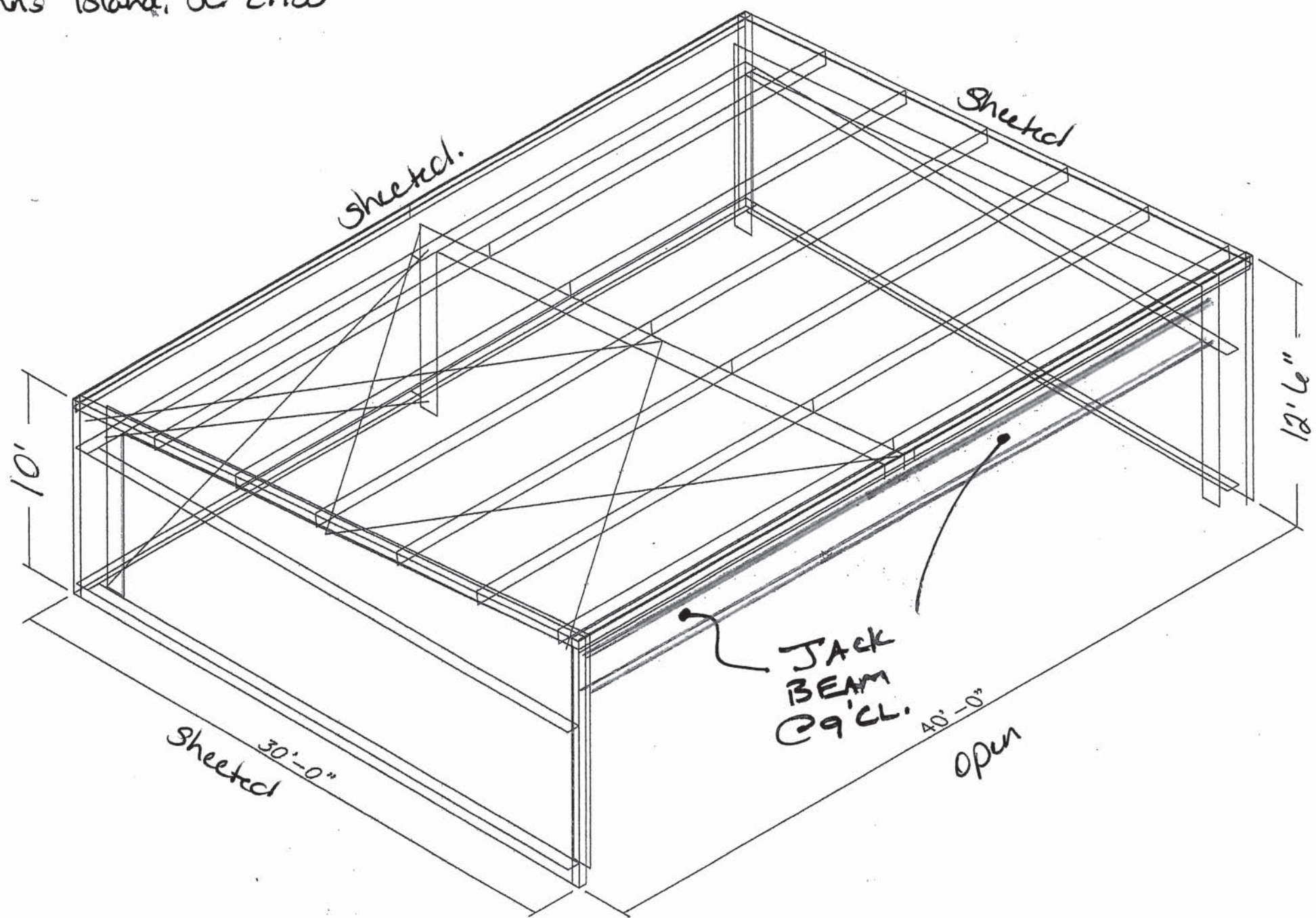
Johns Island, SC 29455



Mostly Cloudy · 80°F
3:11 PM

Postal Code

Steve Hirsch
2902 Seabrook Island Rd.
Johns Island, SC 29455



3300 Holcomb Bridge Rd.
Suite 201
Norcross, GA 30092



1-800-241-8339
sales@arcosteel.com
www.arcosteel.com

Building Systems, Inc.

STANDARD PANEL PAINT SYSTEMS

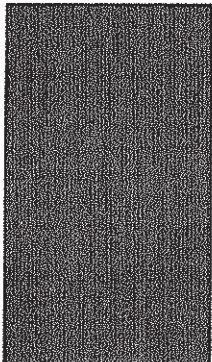
Exterior painted roof and wall panels are precision roll formed from pre-painted galvanized or Galvalume® coils. The metal is first subjected to a strenuous cleaning process followed by the application of an oven-cured primer. Next the finish coat is applied under constant monitoring for proper cure temperature and color uniformity. Before panels are formed, the finished coil is subjected to stringent quality control tests including: physical bend resistance, impact resistance; and film thickness, hardness, gloss, and color. The standard paint system is an industry proven Silicone-Polyester coating. Silicone-Polyester is a recognized standard of product quality for exterior building systems. Printed colors are matched as closely as possible. Exact color match should be made from metal chip samples.

*Liner panels for wall and roof are normally provided in a 28 gage panel coated with a highly serviceable interior grade white polyester coating. Liner panels are for inside use and are not intended to be exposed to the effects of weather or sunlight. All painted wall and trim products are painted with the same high quality paint system described here. Galvalume® Trim may be available at a slight increase in price.

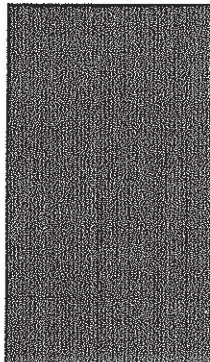
**Backer side primer colors may vary.*

SILICONIZED POLYESTER

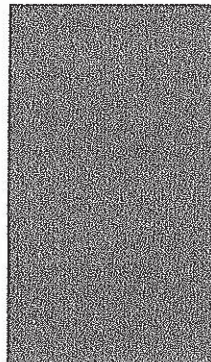
BURNISHED SLATE
(BS)



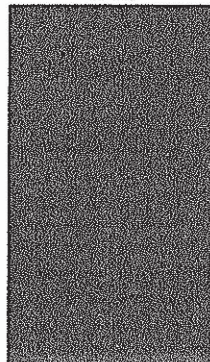
EVERGREEN
(EG)



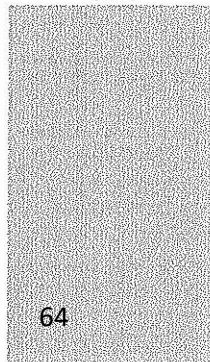
AZTEC BLUE
(AB)



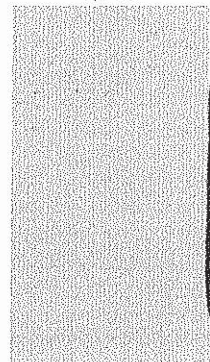
BRICK RED
(BR)



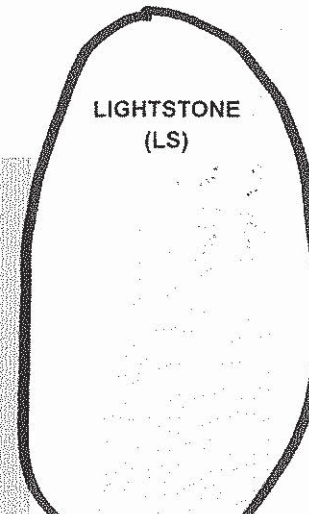
SAGEBRUSH TAN
(SB)



FOX GRAY
(FG)



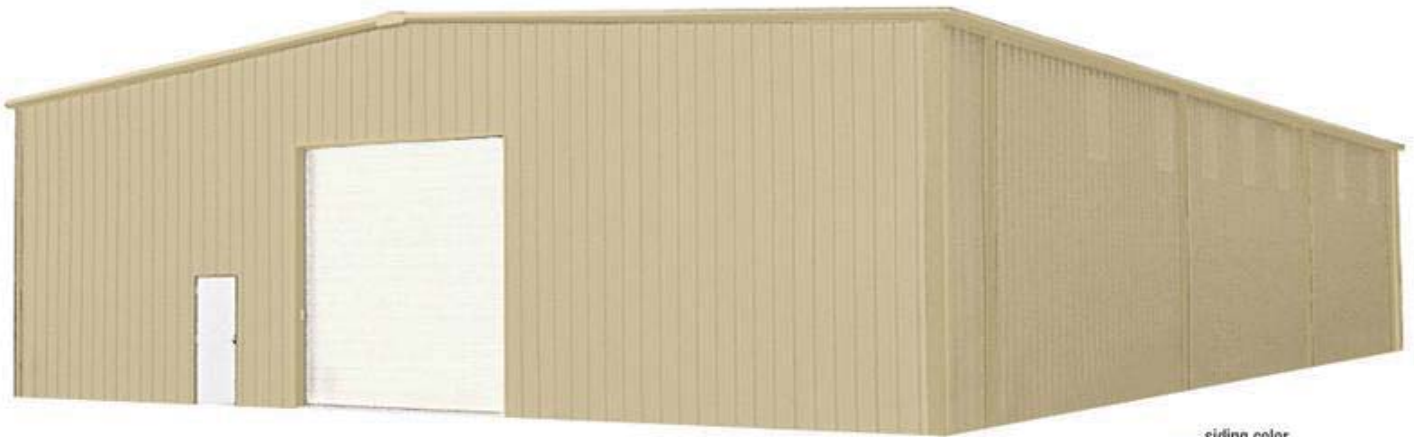
LIGHTSTONE
(LS)



POLAR WHITE
(PW)



Color - For Illustration Purposes Only
(Not Actual Building)



siding color
LIGHT STONE
trim color
LIGHT STONE



3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA. 30092
(770)447-1928

BUILDING DESCRIPTION

BUILDING SIZE: 30.00' x 40.00' x 10.00' x 12.50' SLOPE: 1.0:12
 BUILDING SIZE: _____ SLOPE: _____
 BUILDING SIZE: _____ SLOPE: _____
 BUILDING SIZE: _____ SLOPE: _____
 (BUILDING DIMENSIONS ARE NOMINAL, REFER TO PLANS)

PANEL TRIM AND FRAMING INFORMATION

ROOF PANELS
 TYPE: PBR GAUGE: 26 COLOR: Galvalume
 UL90 CERTIFICATION: No
 INSULATION: None
 MASTIC: Standard

WALL PANELS
 TYPE: PBR GAUGE: 26 COLOR: Light Stone
 INSULATION: None

TRIM
 RAKE: COLOR: Light Stone
 EAVE: COLOR: Light Stone
 GUTTER: COLOR: Light Stone
 DOWNSPOUT: COLOR: Light Stone
 VALLEY GUTTER: COLOR: _____
 HEADER: COLOR: _____
 SILL: COLOR: _____
 JAMB: COLOR: _____
 BASE TRIM: COLOR: Light Stone
 CORNER: COLOR: Light Stone
 LINER: COLOR: _____
 SOFFIT: COLOR: _____
 FASCIA SILL: COLOR: _____
 CAP TRIM: COLOR: _____

This is to certify that this structure is designed utilizing the loads indicated and applied as required by the building code shown below. The certification is limited to the structural design of the framing and covering parts manufactured by the building manufacturer and is specified in the contract. Accessory items such as doors, window, louvers, translucent panels, and ventilators are not included. Also excluded are other parts of the project not provided by the building manufacturer such as foundations, masonry walls, mechanical equipment and erection of the building. The building should be erected on a properly designed foundation in accordance with the building manufacturer's design manual, the attached drawings and good erection practices.

Design Code IBC 15

General Loads			
Roof Dead Load (D)	2,000	psf	
Roof Collateral Load (C)	3	psf	
Roof Live Load (Lr)	20.00	psf	
Tributary Live Load Reduction	Yes		
Snow Load			
Flat-Roof Snow Load (Pf)	4.2000	psf	
Ground Snow Load (Pg)	5.0000	psf	
Snow Exposure Factor (Ce)	1		
Snow Load Importance Factor (Is)	1.0000		
Thermal Factor (Ct)	1.20		
Wind Load			
Wind Speed (V 3S)	N/A		
Wind Speed (Vult & Voad)	150.0000	mph	116 mph
Occupancy / Risk Category	II - Normal		
Wind Exposure Category	C		
Internal Pressure Coefficient (GCp)	+/- 0.55		
Wind Enclosure	Partial		
Wind Importance Factor	N/A		
Seismic Load			
Seismic Importance Factor (Ie)	1.00		
Spectral Response Accelerations (Se and S1)	1.0690	0.3400	
Site Class	D		
Spectral Response Coefficients (Sds and Sd1)	0.7643	0.3899	
Seismic Design Category	D		
Basic Seismic-Force-Resisting System(s) *			
	Longitudinal	Lateral	
Total Design Base Shear (V)	2.28	Kips	4.94 Kips
Seismic Response Coefficient(s) (Cs)	0.2353		0.2185
Response Modification Factor(s) (R)	3.2500		3.5000
Analysis Procedure: Equivalent Lateral Force			

PRIMARY FRAMING
 (MAIN FRAMES & ENDWALL FRAMES) Red-Oxide
 (WIND COLUMNS & BENTS)

SECONDARY FRAMING
 (GIRTS, EAVE STRUTS, PURLINS Red-Oxide
 DOOR/FRAMED OPNG. & CLIPS ETC.)

DN9
 Loads, as noted, are as given within order documents and are applied in general accordance with the applicable provisions of the model code and/or specification indicated. Neither the manufacturer nor the certifying engineer declares or attests that the loads as designated are proper for local provisions that may apply or for site specific parameters. The manufacturer's engineer's certification is limited to designs supplied by and/or engineer of record for the overall construction project.

DN11
 Investigation of the existing structure for possible detrimental effects due to the metal building addition is not within the manufacturer's scope of work. It is strongly recommended that the original designer or other responsible professional be retained to analyze the existing structure, recommending any reinforcement that may be needed. The manufacturer and its certifying engineer expressly exclude the existing structure from any warranty or certification whether written, verbal or implied.

DN13
 The framing as shown at this elevation is designed to receive a future bay addition of 20'-0" @ both endwalls.

DN17
 This project is designed using manufacturer's standard serviceability standards. Generally this means that all stresses and deflections are within typical performance limits for normal occupancy and standard metal building products. If special requirements for deflections and vibrations must be adhered to, then they must be clearly stated in the contract documents.

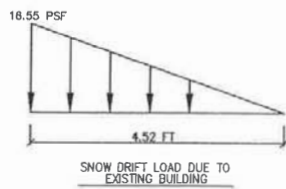
DN18
 "X"-Bracing is to be installed to a taut condition with all slack removed. Do not tighten beyond this state.

DRAWING INDEX		
ISSUE	PAGE	DESCRIPTION
A	C1 OF 2	COVER PAGE
A	C2 OF 2	NOTES PAGE
D	F1 OF 2	ANCHOR ROD PLAN
D	F2 OF 2	REACTIONS
A	E1 OF 7	ROOF FRAMING
A	E2 OF 7	CROSS SECTION
A	E3 OF 7	CROSS SECTION
A	E4 OF 7	SIDEWALL ELEVATION
A	E5 OF 7	SIDEWALL ELEVATION
A	E6 OF 7	ENDWALL ELEVATION
A	E7 OF 7	ENDWALL ELEVATION
A	D1 OF 3	DETAIL DRAWINGS
A	D2 OF 3	DETAIL DRAWINGS
A	D3 OF 3	DETAIL DRAWINGS

IAS Certification Accredited
 Certification # MB-188



These drawings and the metal building they represent are the product of Schulte Building Systems - 17600 Badke Road, Hockley, Texas, 77447. The engineer whose seal appears hereon is employed by Schulte Building Systems and is not the engineer of record for this project.



* Ordinary Steel Concentrically Braced Frame(s) and/or Ordinary Steel Moment Frame(s)

DRAWING STATUS				REVISIONS			
NO.	DATE	DESCRIPTION	BY	CHKD	NO.	DATE	DESCRIPTION
<input type="checkbox"/>		FOR APPROVAL					
<input type="checkbox"/>	1/17/18	FOR PERMIT	JGA	SRG			
<input checked="" type="checkbox"/>		FOR PERMIT					
<input type="checkbox"/>		FOR CONSTRUCTION					
<input type="checkbox"/>		FINAL DRAWINGS					

		3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA. 30092 (770)447-1928	
DESCRIPTION	COVER PAGE	ISSUE	REFER TO C1
PROJECT	SEABROOK		
ADDRESS	2802 SEABROOK ISLAND RD.		
LOCATION	JOHNS ISLAND, SC 29455		
JOB NO.	141835	DATE	8/16/18
SCALE	N.T.S.	SHEET NO.	C1 OF 2
ISSUE	A		

GENERAL NOTES:

- 1. The steel that appears on these drawings is the steel of the engineer for this building manufacturer who is NOT the engineer of record.
2. This building manufacturer is not responsible for errors, omissions or damages incurred in the erection of building components, nor for the inspection of erected components to ascertain same.
3. Temporary bracing must be installed by erector to provide adequate stability during erection. Bracing indicated on the erection drawings is critical to the stability of the completed structure and shall not be removed.
4. Wall and liner panels are an integral part of the structural system. Unauthorized removal of panels is prohibited.
5. "Oil-coating", a paraffined waxiness inherent to light gauge metal, may exist. This condition does not affect the finish or structural integrity of the panel, and is therefore not a cause for rejection.
6. Trim part marks are as shown: ex. FL-31-20-7

APPROVAL NOTES:

- The following conditions apply in the event that these drawings are used as approval drawings:
A) It is imperative that any changes to these drawings:
1) Be made in controlling ink.
2) Have all instances of change clearly indicated.
3) Be legible and unambiguous.
B) Dated signature is required on all pages.
C) Manufacturer reserves the right to re-submit drawings with extensive or complex changes required to avoid misinterpretations. This may impact the delivery schedule.
D) Approval of these drawings indicates conclusively that the manufacturer has correctly interpreted the contract requirements, and further constitutes agreement that the building as drawn, or as drawn with indicated changes represents the total of the materials to be supplied by manufacturer.
E) Any changes noted on the drawings not in conformance with the terms and requirements of the contract between manufacturer and its customer are not binding on manufacturer unless specifically acknowledged and agreed to in writing by change order or separate documentation. Manufacturer recognizes that rubber stamps are routinely used in indicating approvals, disapprovals, rejection, or more review of the drawings indicated. However, manufacturer does not accept change or additions to contractual terms and conditions that may appear with the use of a stamp or similar indication of approval, disapproval, etc. Such language applied to the manufacturer's drawings by the customer, architect, engineer, or any other party will be considered as unenforceable alterations to these drawing notes, and will not alter the contractual rights and obligations existing between manufacturer and its customer.

SAFETY COMMITMENT:

The building manufacturer has a commitment to manufacture quality building components that can be safely erected, however, the erection and job site practices of the erector are beyond the control of the building manufacturer. It is strongly recommended that safe working conditions and accident prevention practices be the top priority of any job site. Local, state and federal safety and health standards, whether stated otherwise, are the responsibility of the erector. Make certain all employees know the safest and most protective way of erecting a building. Emergency procedures should be explained to all employees. Only methods highlighting safe procedures are also recommended. The use of hard hats, rubber sole shoes for roof work, proper equipment for handling material, and safety nets where applicable, are recommended.

BOLT TIGHTENING:

The proper tightening and inspection of all fasteners is the responsibility of the erector. All high strength (A325, A490) bolts and nuts must be tightened by the "turn-of-the-nut" method unless otherwise specified by the end customer in the contract documents. Inspection of high strength bolt and nut installation by other than the erector must also be specified in the contract documents and the erector is responsible for ensuring that the installation and inspection procedures are compatible prior to the start of erection. (AISC 308B 14.6.9)

BUILDER/CONTRACTOR RESPONSIBILITIES:

It is the responsibility of the builder/contractor to insure that all project plans and specifications comply with the applicable requirements of any governing building authorities. The supplying of detailed engineering data and drawings for the metal building system is the responsibility of the manufacturer. The building manufacturer or its design engineer is acting as the engineer of record or design professional for a construction project. The contractor must secure all required approval and permits from the appropriate agency as required. Approval of the manufacturer's drawings and calculations indicate that the building manufacturer correctly interpreted and applied the requirements of the contract drawings and specifications. (except 4.4.1 AISC code of standard practice, 13th ed.) Where discrepancies exist between the manufacturer's structural steel plans and the plans for other trades, the structural steel plans shall govern. (except 3.3 AISC code of standard practice 13th ed.) Design considerations of any material in the structure which are not furnished by the building manufacturer are the responsibility of the contractor and engineers other than the building manufacturer's engineer unless specifically indicated. The contractor is responsible for all erection of steel and woodwork work in compliance with the building manufacturer's "for erection installer" drawings. Drawings shipped to builder or the customer shall be inspected by builder immediately upon arrival. Claims for shortages or defective material, if not packaged, must be made to the manufacturer in writing within five (5) days after receipt of the shipment. However, if a defect is of such nature that reasonable visual inspection would fail to disclose it, then the claim must be made within five (5) days after the builder learns of the defect. The manufacturer will not be liable for any defect unless claim is made one (1) year after date of the original shipment by the manufacturer to builder or his customer. The manufacturer will be given a reasonable opportunity to inspect defective materials upon receipt of claim by builder. If a defect is of such nature that it can be remedied by a field operation at the job site without the necessity of returning the material to the manufacturer, then upon written authorization of the manufacturer, the builder may repair or cause the material to be repaired and the manufacturer will reimburse the builder for the cost of the repair in accordance with the written authorization. Unless noted otherwise, all bracing or other elements provided by the manufacturer for the building is required and shall be installed by the erector as a permanent part of the structure. Temporary supports, such as temporary girders, bracing, false work, cribbing or other elements required for the erection operation will be determined and furnished and installed by the erector. These temporary supports will secure the steel framing, or any party assembled steel framing, against loads comparable in intensity to those for which the structure was designed, resulting from wind, seismic forces and erection operations, but not the loads resulting from the performance of work by or the acts of others, nor such unpredictable loads as those due to tornado, explosion or collision. (except 7.10.3 AISC code of standard practice, 13th ed.) Design of gutter and downspout or a function of the erector's intent and shall be designed. Design parameters utilized are in accordance with the 2000 low rise building systems manual and/or the 12th edition of the architectural graphic standards, as applicable. Proper maintenance dictates that the drainage system be kept free of debris and/or ice at all times to ensure proper function of the gutter and downspout. In those cases where the owner/tenant of a property is unwilling or unable to provide proper maintenance, elimination of gutter should be considered as an alternative.

PRODUCT CERTIFICATION:

The building manufacturer is a member of the Metal Building Manufacturers Association. The building manufacturer and products are covered by one or more of the following certification:
1. Approved fabricator of prefabricated buildings and components. Reference (ASQB-106)
2. City of Houston approved fabricator (registration no. 721)

International Building Code (IBC):

Material properties of steel plate used in the fabrication of primary rigid frames, and primary structural exclusive of cold-formed sections, conform to ASTM-A572 or A-572. Flanges with thickness of 1/2" less and width of 12" or less conform to A-572 with minimum yield point of 50,000 PSI. Flanges greater than 1/2" thick and width of 12" or less conform to A-572 with a min. yield point of 50,000 PSI. Flanges with a thickness greater than 1" thick and a width less than 12" conform to A-572 with a min. yield point of 50,000 PSI. Material properties of pipe sections conform to ASTM-A53 Type E, Grade 60 with a min. yield point of 35,000 PSI. Material properties of hot rolled steel members conform to the requirements of ASTM-A36 or A-36 with a min. yield point of 50,000 PSI. Material properties of cold formed light gauge steel members conform to ASTM-A1011 Grade 55 with a min. yield point of 55,000 PSI. Material properties of roof/ceiling sheeting, base metal conform to ASTM-A792 Grade 50 or 60 with min. yield point of 50,000 PSI or 80,000 PSI respectively, as required by design. Coating and base metal is 55% aluminum-zinc alloy in accordance with AZ55 for uncoated or AZ50 for painted specifications. Coating utilized for bracing conforms to ASTM A475. Coating bracing is to be installed to a tout condition with all slack removed. Rod & pipe utilized for bracing members conform to ASTM A36. Structural joints with ASTM A-325 high strength bolts, where indicated on the drawings, shall be assembled and the fasteners tightened in accordance with the bolt tightening procedure per ASTM F1854. All joints will be assembled without washers unless otherwise noted. All steel members accept bolts, fasteners & cable shall receive one coat of iron oxide corrosion inhibitive primer, meeting the performance requirements of SSPC paint Specification #15. Shop & field inspections and associated tests are the responsibility of the contractor, unless stipulated otherwise in the contract.

Packing List: 12345
Ship To: LUIS MARTINEZ
5487 FM 744
PAWNEE, TX 71576
Truck ID: EXPRESS
Table with columns: Carton #, Piece Mark, Description, Qty, Length, Unit, Gross Weight, Net Weight, Volume, Count #.

PACKING LIST EXAMPLE

COLD FORM AND PANEL LABEL
Customer: ABC CONSTRUCTION
Order Number: 07522
Carton ID: PA12E9697B4
Job Number: 12345
Table with columns: PART NAME, DESCRIPTION, LENGTH, QTY.

BUNDLE LABEL EXAMPLES

TRIM BUNDLE AND WAREHOUSE LABEL
Carton ID: C126431
Customer: ABC CONSTRUCTION
Job Number: 12345

STRAIGHT BILL OF LADING - SHORT FORM - ORIGINAL - NOT NEGOTIABLE
DATE: 10/07/11
CARRIER: JOE TRUCKING
BILL OF LADING #: 54321
SHIPPER AND/OR consignee: ABC BUILDING
CONSIGNEE AND/OR DESTINATION: BONES BUILDING
COD AMOUNT: \$0.00
FOR FREIGHT COLLECT SHIPMENTS:
PACKAGES: 1
KIND OF PACKAGE: LOT MISC. BUILT UP / STRUCTURAL / COLD FORM / PANEL / TRIM / CHANGEPY
WEIGHT: 31260
CLASS OR RATE:
Carrier: Print Name:
Tractor #:
TOTAL WEIGHT (LBS): 31260

BILL OF LADING EXAMPLE

TRIM PIECE LABEL
Piece Mark: FL-31
Job Number: 12345
Length: 20' 2"
List Number: L-59

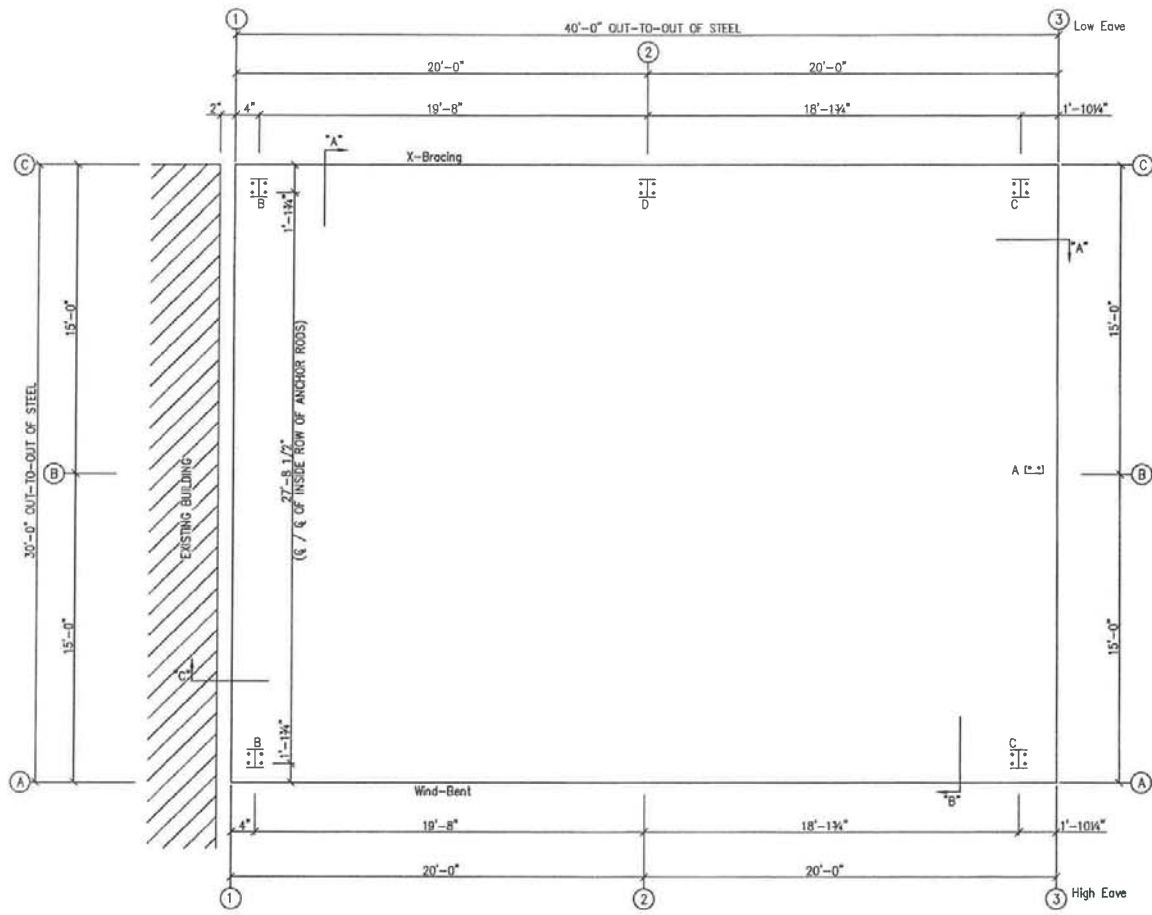
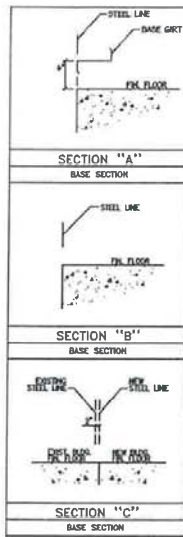
BUILT UP, STRUCTURAL AND FAB. COLD FORM LABEL

Job Number: 12345
Piece Mark: RF1-1
MPL1060145

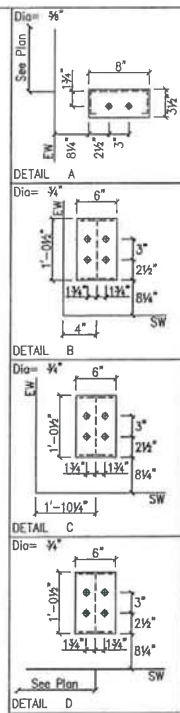
PIECE LABEL EXAMPLES

DRAWING STATUS
NO. DATE DESCRIPTION BY/CHK
A 6/17/10 FOR PERMIT JGA/SRS
DRAWING NOTES PAGE: REFER TO C1
3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA. 30092
(770)447-1928
ARCO
SEABROOK
JOHNS ISLAND, SC 29455
JOB BY DATE SALE DATE
LJB 8/16/18 M.T.S. 141835
SHEET NO. ISSUE
C2 of 2 A





ANCHOR ROD PLAN
NOTE: All Base Plates @ 100'-0" (FINISH FLOOR)(UNLESS NOTED)



ANCHOR RODS HAVE BEEN DESIGNED FOR SHEAR AND TENSION LOADS ONLY, PER APPENDIX D OF AISC 318-08.

DESIGN OF SHEAR ANGLES, TENSION PLATES, HARPINS, AND ANY OTHER EMBEDDED MATERIAL IN THE CONCRETE SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER AND PROVIDED BY OTHERS.

ANCHOR ROD PROJECTION IS FROM BOTTOM OF BASE PLATE, UNLESS NOTED OTHERWISE.

DIA.	PROJ.	HEAVY HEX NUT & WASHER	FOUNDATION	ANCHOR ROD A578-11554-GR36	HEAVY HEX NUT	TACK WELD
1/2"	1 1/2"					
3/4"	2 1/2"					
7/8"	3 1/2"					
1"	3 1/2"					
1 1/4"	3 1/2"					

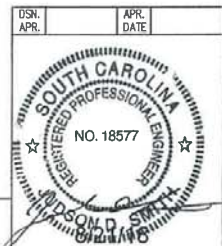
ANCHOR RODS (BY OTHERS)

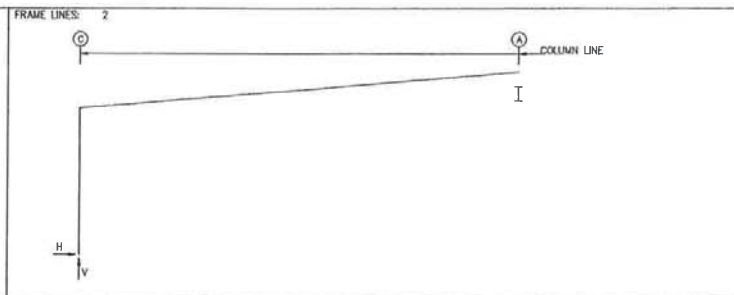
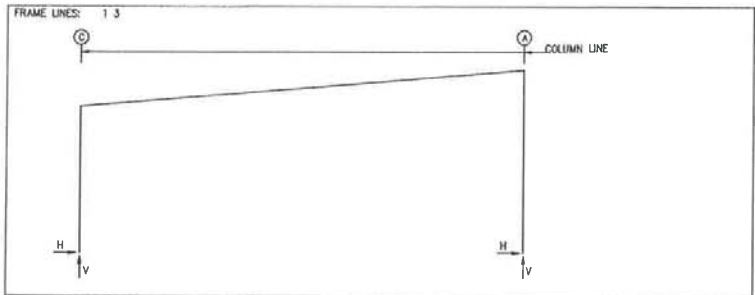
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DRAWING STATUS		REVISIONS	
<input type="checkbox"/>	FOR APPROVAL	NO.	DATE
<input type="checkbox"/>	FOR CONSTRUCTION	DESCRIPTION	BY
<input type="checkbox"/>	FOR PERMIT	DATE	DATE
<input type="checkbox"/>	FINAL DRAWINGS	DATE	DATE

NO.	DATE	DESCRIPTION	BY	CHKD
0	5/17/18	FOR CONSTRUCTION	JGA	SRG

PROJECT		3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA. 30092	
CLIENT		SEABROOK	
ADDRESS		2902 SEABROOK ISLAND RD.	
LOCATION		JOHNS ISLAND, SC 29555	
DESIGNED BY	DATE	SCALE	AS BLD.
JGA	8/16/18	N.T.S.	141835
CHECKED BY	DATE	SCALE	AS BLD.
PROJECT NO.		REFER TO C1	
SHEET NO.		F1 of 2	





- NOTES FOR REACTIONS**
- Building reactions are based on the following building data:
- Width (ft) = 30.0
 - Length (ft) = 40.0
 - Eave Height (ft) = 10.0/ 12.5
 - Roof Slope (rise/run) = 1.0
 - Dead Load (psf) = 2.0
 - Collateral Load (psf) = 3.0
 - Roof Live Load (psf) = 20.0
 - Frame Live Load (psf) = 12.0
 - Snow Load (psf) = 4.2
 - Wind Speed (mph) = 150.0
 - Wind Code = IBC 15
 - Exposure = C
 - Closed/Open = P
 - Importance Wind = N/A
 - Importance Seismic = 1.00
 - Seismic Zone = D
 - Seismic Coeff (F_aS_a) = 1.15

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead		Collateral		Live		Snow		Snow Drift		Wind Left	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
1*	C	0.3	1.1	0.4	1.1	1.5	4.2	0.5	1.5	0.5	1.2	-8.2	-21.7
1*	A	-0.4	2.3	-0.4	1.6	-1.8	6.5	-0.6	2.3	-0.5	1.3	3.0	-30.9

Frame Line	Column Line	Wind Right 1		Wind Left 2		Wind Right 2		Wind Long 1		Wind Long 2		Seismic Left	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
1*	C	8.3	-10.7	-10.4	-7.5	3.2	3.5	1.3	-17.1	1.3	-17.1	-1.5	-0.9
1*	A	10.0	-25.1	0.2	-4.3	7.1	0.5	4.3	-31.5	4.3	-31.5	-0.9	0.9

Frame Line	Column Line	Seismic Right		Seismic Long		MIN SNOW		FIPAT SL 1		FIPAT IL 2			
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert		
1*	C	1.5	0.9	0.0	-0.6	0.6	1.8	0.7	1.8	0.3	0.7	1.5	4.3
1*	A	0.9	-0.9	0.0	-0.8	-0.7	2.7	-0.7	1.8	-0.3	0.8	-1.6	4.4

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR RODS, & BASE PLATES

Frm Line	Col Line	Load Id	Column Reactions (k)			Bolt Qty	Bolt Dia	Base Plate (in)			Grout (in)		
			Hmax	V	Hmin			Width	Length	Thick			
1*	C	4	4.3	0.5	8	-6.0	-3.9	4	7.50	6.000	12.50	0.500	0.0
		5	3.3	6.9	8	-4.7	-12.4						
1*	A	7	5.8	-14.3	11	-2.5	9.7	4	7.50	6.000	12.50	0.500	0.0
		1	-2.4	10.5	9	2.4	-17.5						

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR RODS, & BASE PLATES

Frm Line	Col Line	Load Id	Column Reactions (k)			Bolt Qty	Bolt Dia	Base Plate (in)			Grout (in)		
			Hmax	V	Hmin			Width	Length	Thick			
2	C	3	2.1	-11.5	8	-2.5	-0.4	4	7.50	6.000	12.50	0.500	0.0
		5	-0.2	7.0	9	2.1	-12.0						

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Wind Press		Wind Suct	
			Horz	Vert	Horz	Vert
3	B	0.1	-5.0			5.3

ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR RODS, & BASE PLATES

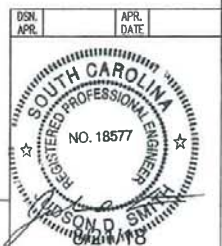
Frm Line	Col Line	Load Id	Column Reactions (k)			Bolt Qty	Bolt Dia	Base Plate (in)			Grout (in)		
			Hmax	V	Hmin			Width	Length	Thick			
3	B	12	3.2	0.0	13	-3.0	0.0	2	0.625	3.500	8.000	0.375	0.0
		14	2.4	0.1									

BUILDING BRACING REACTIONS

Wall Loc	Col Line	Reactions (k)				Panel Shear (lb/ft)	Note
		Wind Horz	Seismic Horz	Wind Vert	Seismic Vert		
L_FW	1						(b)
R_SW	A	1.2	1.4	0.8	0.6	0.4	(b)
R_FW	3						(h)
B_SW	C	2.1	2.5	1.1	1.2	0.5	

(b) Wind bent in bay, base above finish floor
(h) Rigid frame at endwall

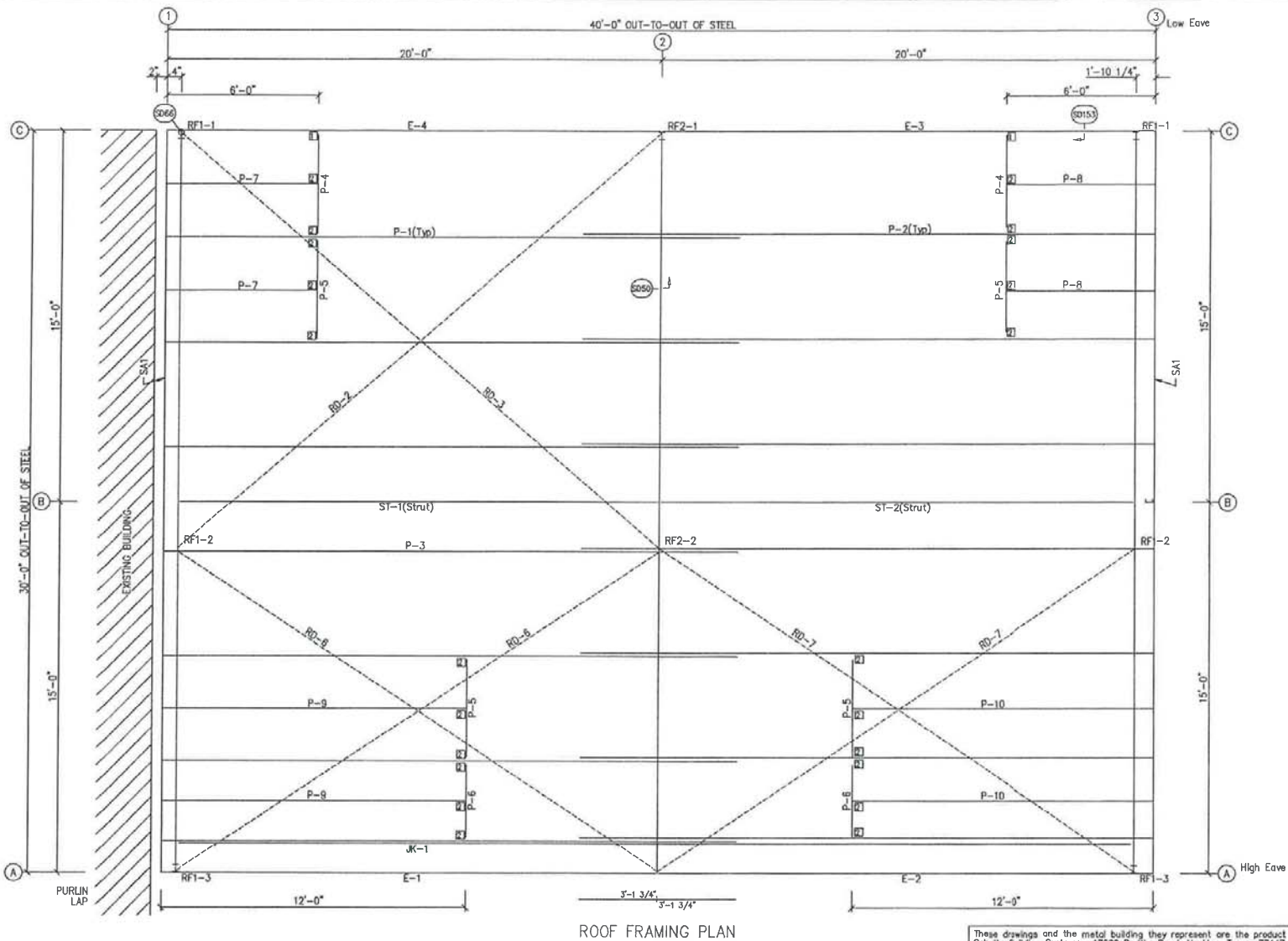
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DRAWING STATUS				REVISIONS			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
0	8/17/18	FOR CONSTRUCTION	JGA/JRC				

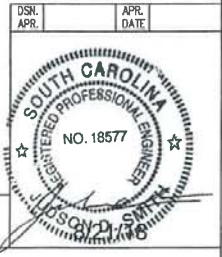
DESCRIPTION REACTIONS		SEE	REFER TO
SEISMIC	SEABROOK		C1
JOBE	2902 SEABROOK ISLAND RD.		
LOCATION	JOHNS ISLAND, SC 29455		
DESIGNED BY	JGA	CHECKED BY	JLB
DATE	8/16/18	SCALE	N.T.S.
JOB NO.	141835	PI (JOB) NO.	
SHEET NO.	F2	TOTAL SHEETS	2

Arco 3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA 30092 (770)477-1028



MEMBER TABLE	
ROOF PLAN	
MARK	PART
E-1	10X25216
P-2	10X25214
P-3	10X25214
E-1	10E14
E-2	10E14
E-3	10E14
E-4	10E14
ST-1	P6X156
ST-2	P6X156
RD-2	RD0500
RD-3	RD0500
RD-6	RD0625
RD-7	RD0625
P-4	10X25C14
P-5	10X25C14
P-6	10X25C14
P-7	10X25214
P-8	10X25214
P-9	10X25214
P-10	10X25214
ESW-2	19 1/2" X140g

CONNECTION PLATES	
FRAME LINE 3	
MARK	PART
1	CL-100
2	CL-103



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MEMBER TABLE		MEMBER TABLE		MEMBER TABLE	
MARK	DESCRIPTION	MARK	DESCRIPTION	MARK	DESCRIPTION
E-1	10X25216	E-1	10X25216	E-1	10X25216
P-2	10X25214	P-2	10X25214	P-2	10X25214
P-3	10X25214	P-3	10X25214	P-3	10X25214
E-1	10E14	E-1	10E14	E-1	10E14
E-2	10E14	E-2	10E14	E-2	10E14
E-3	10E14	E-3	10E14	E-3	10E14
E-4	10E14	E-4	10E14	E-4	10E14
ST-1	P6X156	ST-1	P6X156	ST-1	P6X156
ST-2	P6X156	ST-2	P6X156	ST-2	P6X156
RD-2	RD0500	RD-2	RD0500	RD-2	RD0500
RD-3	RD0500	RD-3	RD0500	RD-3	RD0500
RD-6	RD0625	RD-6	RD0625	RD-6	RD0625
RD-7	RD0625	RD-7	RD0625	RD-7	RD0625
P-4	10X25C14	P-4	10X25C14	P-4	10X25C14
P-5	10X25C14	P-5	10X25C14	P-5	10X25C14
P-6	10X25C14	P-6	10X25C14	P-6	10X25C14
P-7	10X25214	P-7	10X25214	P-7	10X25214
P-8	10X25214	P-8	10X25214	P-8	10X25214
P-9	10X25214	P-9	10X25214	P-9	10X25214
P-10	10X25214	P-10	10X25214	P-10	10X25214
ESW-2	19 1/2" X140g	ESW-2	19 1/2" X140g	ESW-2	19 1/2" X140g

DRAWING STATUS	
<input type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.
<input checked="" type="checkbox"/>	FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL IN THAT AS A MINIMUM, FIELD MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.
<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS		REVISIONS	
NO.	DATE	DESCRIPTION	BY
A	8/17/18	FOR PERMIT	JGA

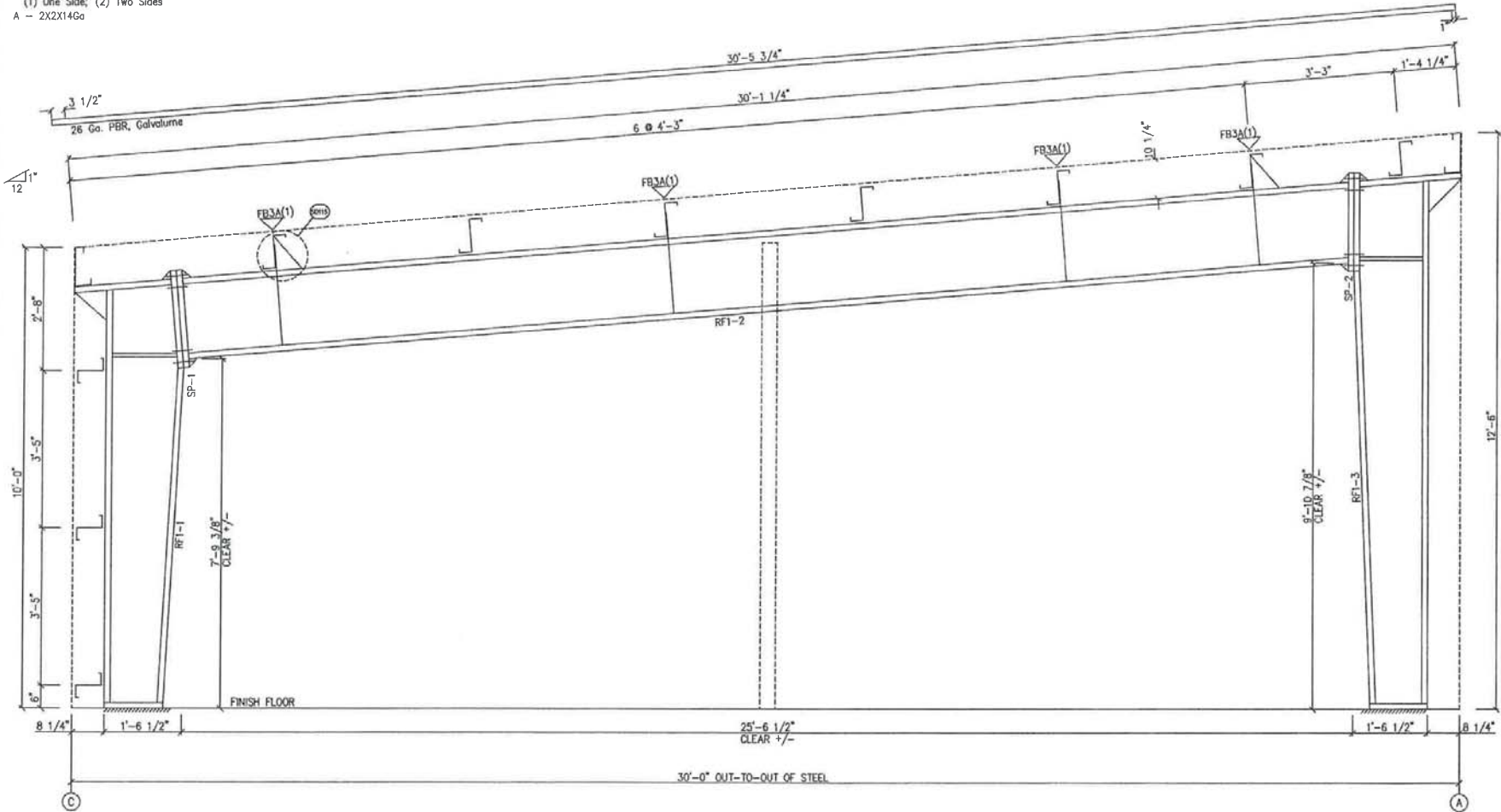
NO.	DATE	DESCRIPTION	BY
A	8/17/18	FOR PERMIT	JGA

DESCRIPTION	ROOF FRAMING	SEE	REFER TO C1
PROJECT	SEABROOK		
OWNER	2992 SEABROOK ISLAND RD.		
LOCATION	JOHNS ISLAND, SC 29455		
CD BY	JGA	DATE	8/16/18
CHK BY	LIB	SCALE	N.T.S.
APP NO.	141835	PR. NO.	141835
SHEET NO.	E1	TOTAL SHEETS	7

SPUCE PLATE & BOLT TABLE										
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1	4	4	0	0	A325	5/8"	1 3/4"	6"	3/8"	2'-0 3/4"
SP-2	4	4	0	0	A325	5/8"	1 3/4"	6"	3/8"	2'-0 13/16"

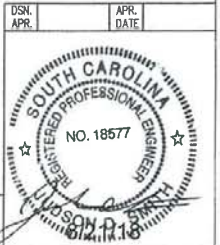
FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side, (2) Two Sides
 A - 2X2X14G

MEMBER TABLE						
Mark	Web Depth	Web Plate	Web Length	Outside Flange		Inside Flange
				W x Thk x Length	W x Thk x Length	
RF1-1	12.0/18.0	0.135	111.0	5 x 1/4" x 109.7	5 x 1/4" x 24.8	5 x 1/4" x 89.9
RF1-2	18.0/18.0	0.135	240.0	5 x 1/4" x 306.3	5 x 1/4" x 306.3	5 x 1/4" x 306.8
RF1-3	18.0/18.0	0.135	68.3	5 x 1/4" x 26.6	5 x 1/4" x 138.3	5 x 1/4" x 115.4
	18.0/12.0	0.135	115.3	5 x 1/4" x 138.3		



MAIN FRAME ELEVATION: FRAME LINE 1 3

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GENERAL NOTES:
 SEE ROOF FRAMING PLAN AND SIDEWALL ELEVATIONS FOR MAIN FRAME PIECE MARKS.

DRAWING STATUS

- FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR INFORMATION, REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
- FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. IF THEY ARE IN ERROR, PIECE MARKS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
- FOR CONSTRUCTION: ONLY DRAWINGS.
- FINAL DRAWINGS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	8/17/18	FOR PERMIT	JGA/SRC



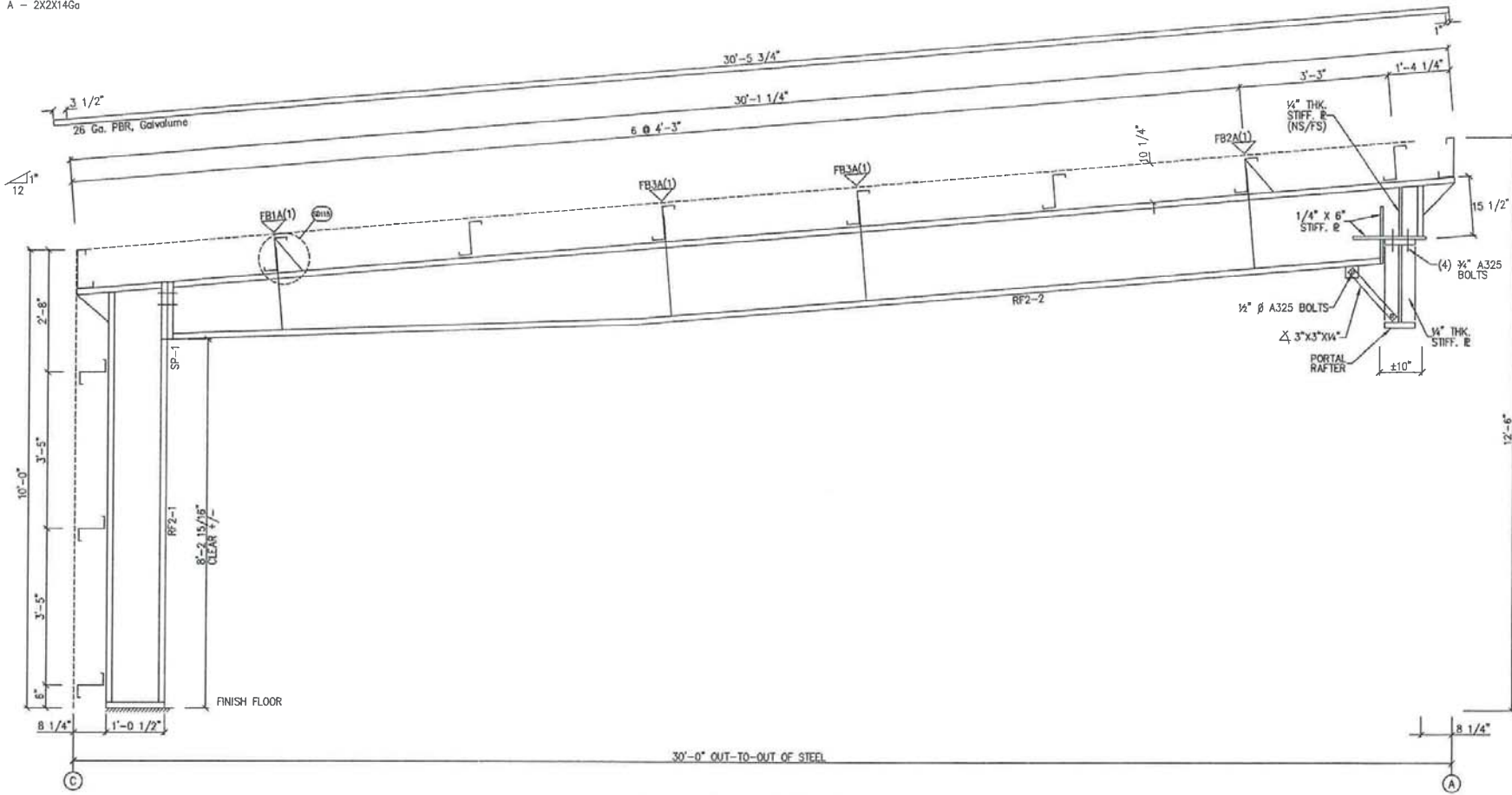
3300 HOLCOMBE BRIDGE RD., SUITE 201 • NORCROSS, GA 30092
 (770)447-1928

SECTION CROSS SECTION		SEE	REFER TO
SECTION	SEABROOK		
DATE	2002		
LOCATION	2502 SEABROOK ISLAND RD.		
	JOHNS ISLAND, SC 29455		
DESIGN	JGA	DATE	8/16/18
DRAWN	LJE	SCALE	N.T.S.
NO. 141835	PR. 141835	SHEET NO. E2 of 7	ISSUE A

Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1	4	0	0		A325	5/8"	1 3/4"	6"	3/8"	1'-0 9/16"

Mark	Web Depth		Web Plate		Outside Flange		Inside Flange	
	Start	End	Thick	Length	W x Thk x Length	W x Thk x Length	W x Thk x Length	W x Thk x Length
RF2-1	12.0	12.0	0.135	110.7	5 x 1/4" x 102.7	5 x 1/4" x 20.6	5 x 1/4" x 339.9	5 x 1/4" x 124.7
RF2-2	12.0	18.0	0.135	124.6	5 x 1/4" x 18.6			5 x 1/4" x 184.6

FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side; (2) Two Sides
 A - 2X2X14G



MAIN FRAME ELEVATION: FRAME LINE 2



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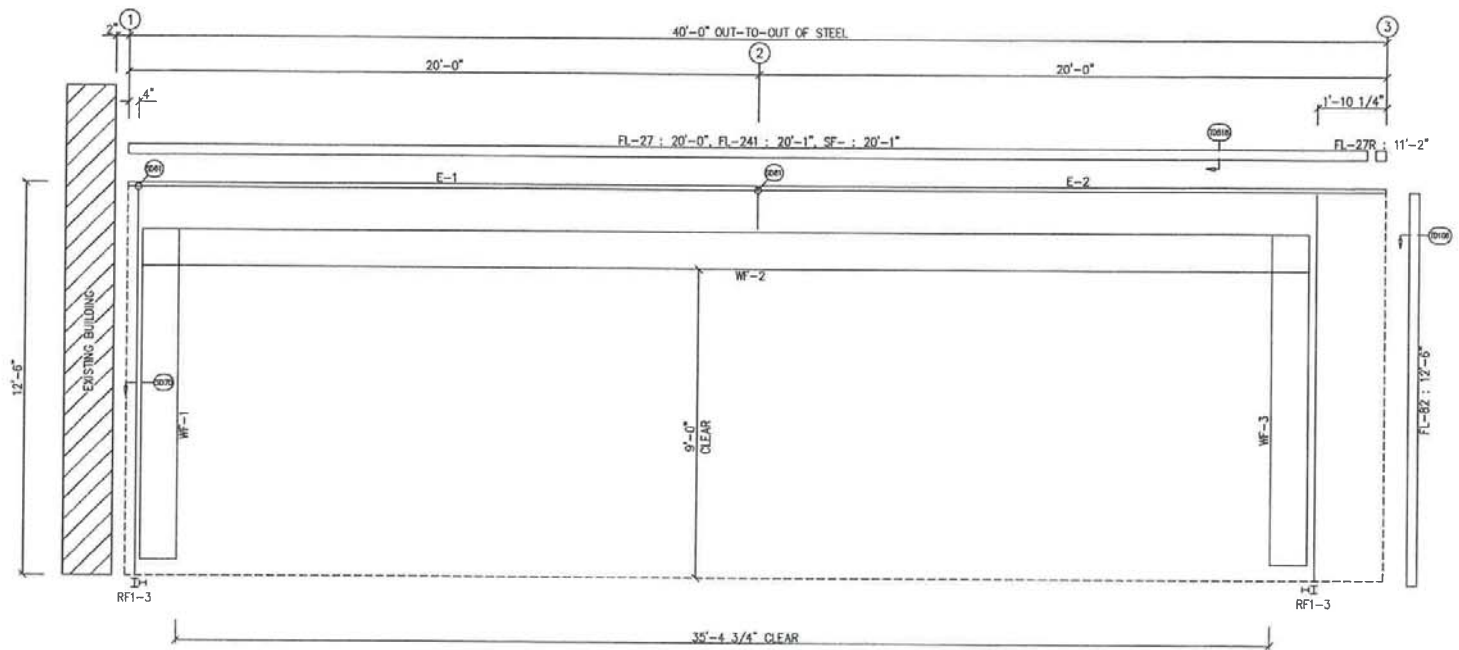
GENERAL NOTES:
 SEE ROOF FRAMING PLAN AND SIDEWALL ELEVATIONS FOR MAIN FRAME PIECE MARKS.

NO.	DATE	DESCRIPTION	BY	CHKD
A	8/17/18	FOR PERMIT	JGA	SPS

DESCRIPTION		CROSS SECTION	SEE	REFER TO
TYPE	SEABROOK			C1
ZONE	2902 SEABROOK ISLAND RD.			
LOCATION	JOHNS ISLAND, SC 29455			
DW BY	JGA	DATE	8/16/18	SCALE
CHKD BY	LJB	DATE	8/16/18	N.T.S.
JOB NO.	141835	PI	141835	SHEET NO.
				E3 OF 7
				A

BOLT TABLE				
FRAME LINE A				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-1 - WF-2	8	A325	5/8"	1 3/4"
WF-1 - RF1-3	6	A325	5/8"	1 1/2"

MEMBER TABLE	
FRAME LINE A	
MARK	PART
E-1	10E14
E-2	10E14



SIDEWALL FRAMING & TRIM: FRAME LINE A

DSN.	APR.
APR.	DATE



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DRAWING STATUS			
NO.	DATE	DESCRIPTION	BY DATE
A	8/17/18	FOR PERMIT	SEA SPG

PROVISIONS			
NO.	DATE	DESCRIPTION	BY DATE

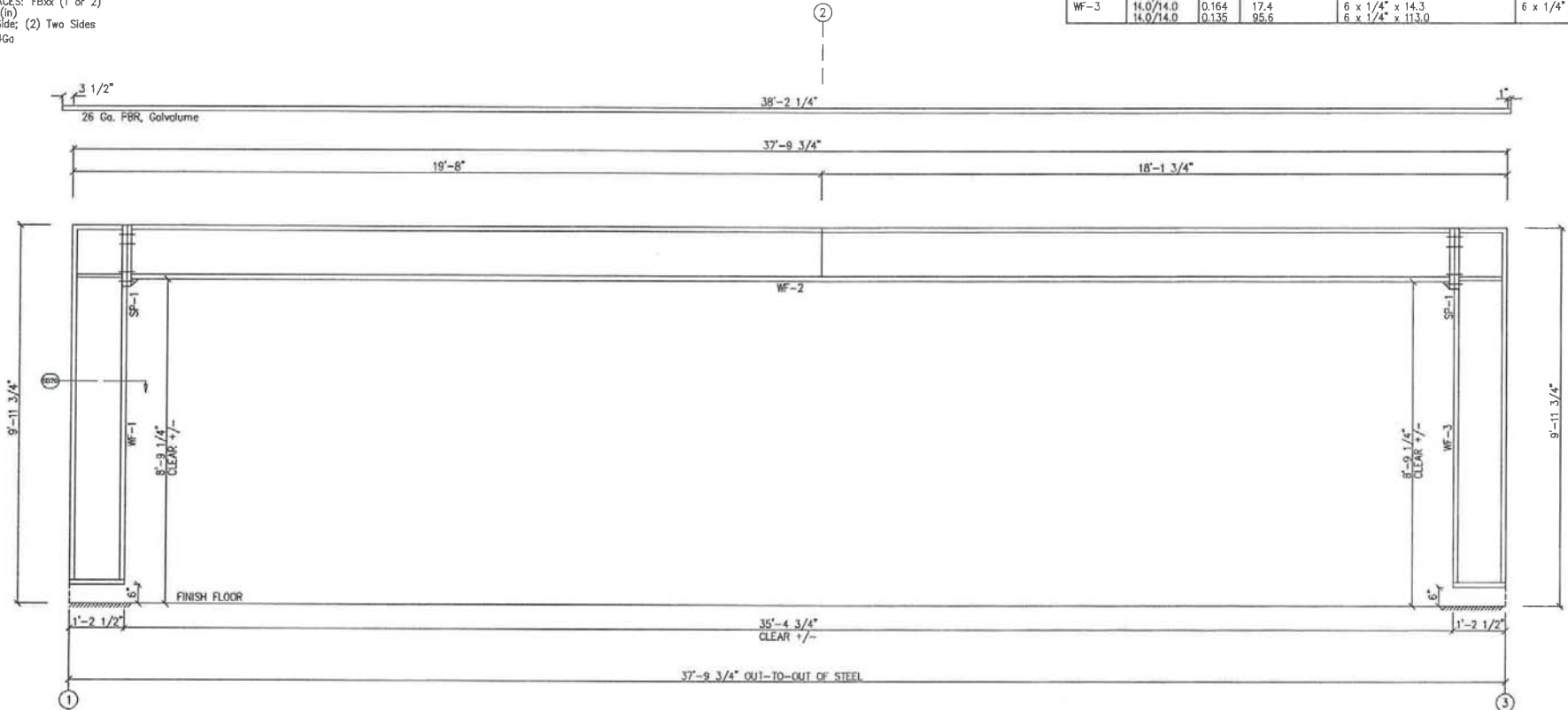
Arco		3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA 30092 (770)447-1928	
SCOPION SIDEWALL ELEVATION SEE REFER TO C1			
JOBBE SEABROOK			
JOBBE 2902 SEABROOK ISLAND RD.			
JOBBE JOHNS ISLAND, SC 29455			
DESIGNED BY	DATE	JOB NO.	REV. DATE
JCA	8/16/18	N.T.S.	141835
DRW BY	LUB	8/16/18	N.T.S.
JOB NO.	141835	REV.	DATE
		141835	8/16/18
SHEET NO.	E4 of 7		DATE
			A

GENERAL NOTES:
TRIM IS FIGURED WITH 2" TRIM LAP UNLESS NOTED ON A DETAIL.
FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.

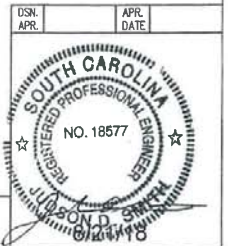
SPLICE PLATE & BOLT TABLE										
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1	4	4	0	A325	5/8"	1 3/4"	6"	3/8"	1-5 5/8"	

FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side; (2) Two Sides
 A - 2X2X1/4G

MEMBER TABLE						
Mark	Web Depth		Web Plate		Outside Flange	Inside Flange
	Start/End	Thick	Length	W x Thk x Length	W x Thk x Length	
WF-1	14.0/14.0	0.135	95.6	6 x 1/4" x 113.0	6 x 1/4" x 95.6	
WF-2	14.0/14.0	0.164	17.4	6 x 1/4" x 14.3	6 x 1/4" x 423.8	
	14.0/14.0	0.135	240.0	6 x 1/4" x 423.8		
WF-3	14.0/14.0	0.135	183.8	6 x 1/4" x 14.3	6 x 1/4" x 95.6	
	14.0/14.0	0.164	17.4	6 x 1/4" x 113.0		



PORTAL FRAME BETWEEN LINES 1 & 3 @ ELEV. "A"



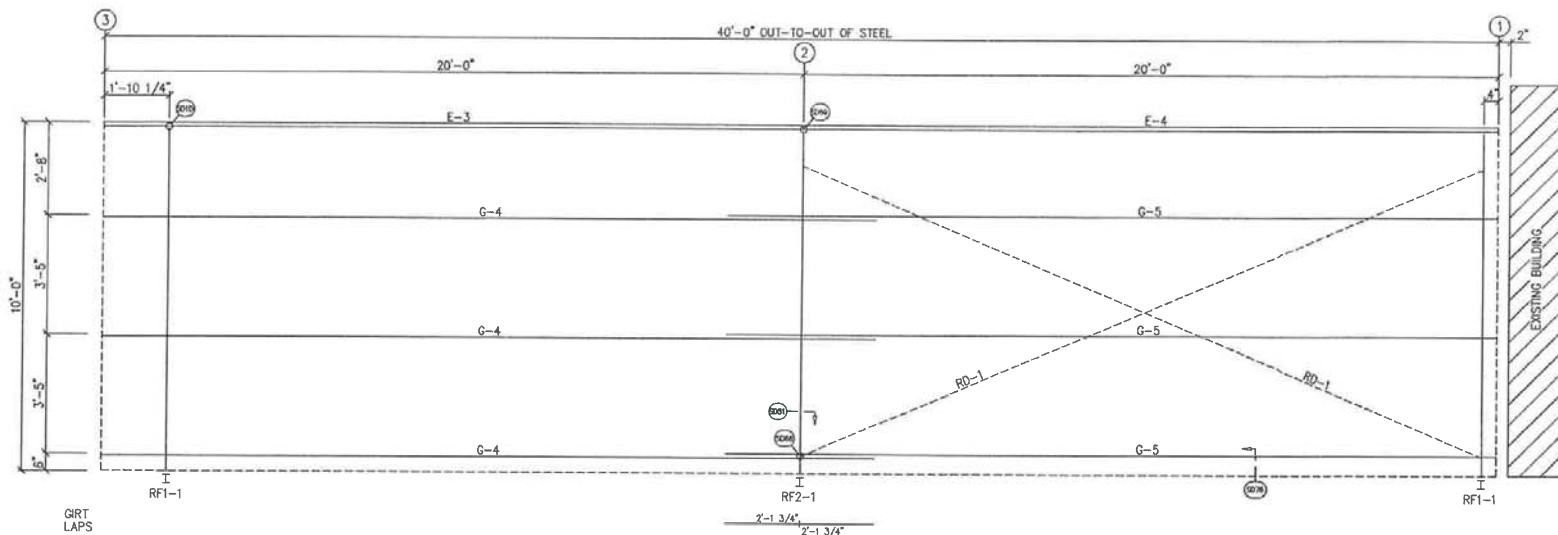
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DRAWING STATUS				REVISIONS			
NO.	DATE	DESCRIPTION	BY	CHKD	NO.	DATE	DESCRIPTION
A	8/16/18	FOR PERMIT	JEA	JYS			

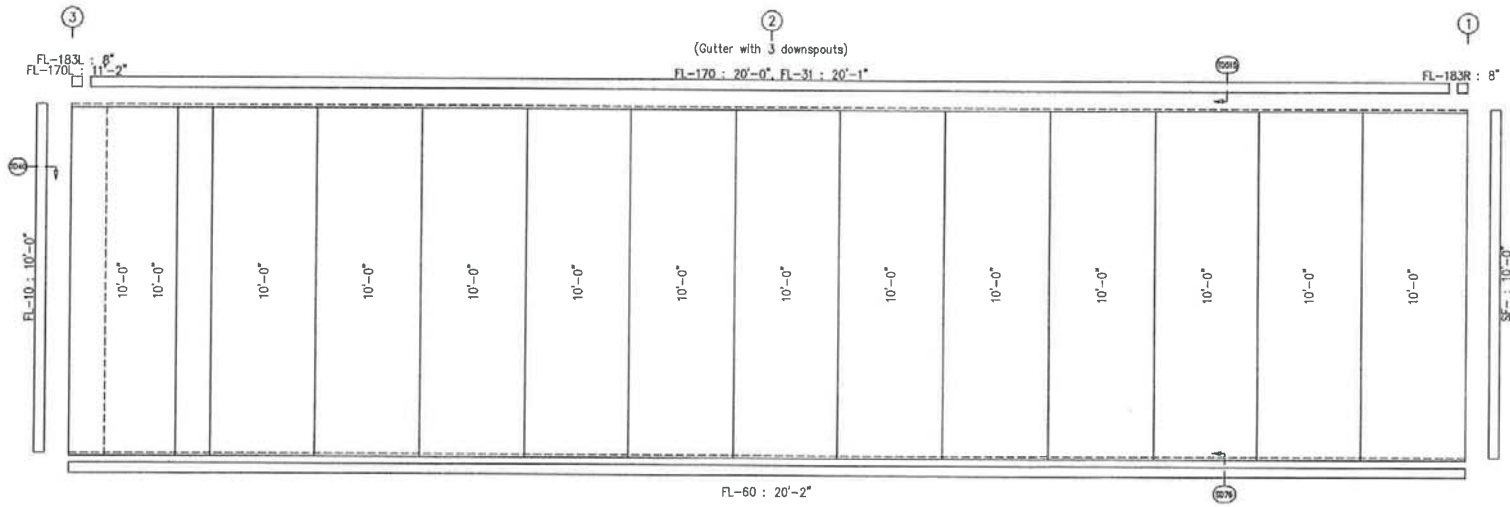
<input type="checkbox"/> FOR APPROVAL:	NO. DATE DESCRIPTION BY CHKD	3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA 30092 (770)447-1928
<input type="checkbox"/> THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFER PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.		
<input checked="" type="checkbox"/> FOR PERMIT:		PROJECT: SEABROOK TITLE: PORTAL FRAME ELEVATION SEE REFER TO CH SITE: 2502 SEABROOK ISLAND RD. LOCATION: JOHNS ISLAND, SC 29455
<input type="checkbox"/> FOR CONSTRUCTION:		DWG BY: JGA DATE: 8/16/18 SCALE: N.T.S. JOB NO: 141835 IN: 8/16/18 SHEET NO: E5 OF 8 ISSUE: A

GENERAL NOTES:
 SEE ROOF FRAMING PLAN AND SIDEWALL ELEVATIONS FOR MAIN FRAME PIECE MARKS.

MEMBER TABLE	
FRAME LINE C	
MARK	PART
E-3	10E14
E-4	10E14
G-4	8X25Z16
G-5	8X25Z16
RD-1	ROO500

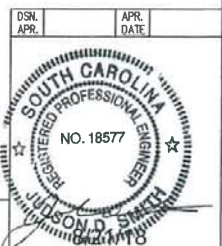


SIDEWALL FRAMING: FRAME LINE C



SIDEWALL SHEETING & TRIM: FRAME LINE C

PANELS: 26 Ga. PBR - Light Stone



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GENERAL NOTES:
TRIM IS FIGURED WITH 2" TRIM LAP UNLESS NOTED ON A DETAIL.
FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.

DRAWING STATUS	
<input type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
<input checked="" type="checkbox"/>	FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL, IS TRUE, AS A MINIMUM, PRICE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY / CHK
A	8/17/18	FOR PERMIT	JGA / JRC

Arco 3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA. 30092 (770)447-1928

DESCRIPTION: SIDEWALL ELEVATION (SEE REFER TO C1)

PROJECT: SEABROOK

JOB#: 2902 SEABROOK ISLAND RD.

LOCATION: JOHN'S ISLAND, SC 29455

DATE: 8/16/18 N.T.S.

SCALE: 1/4" = 1'-0"

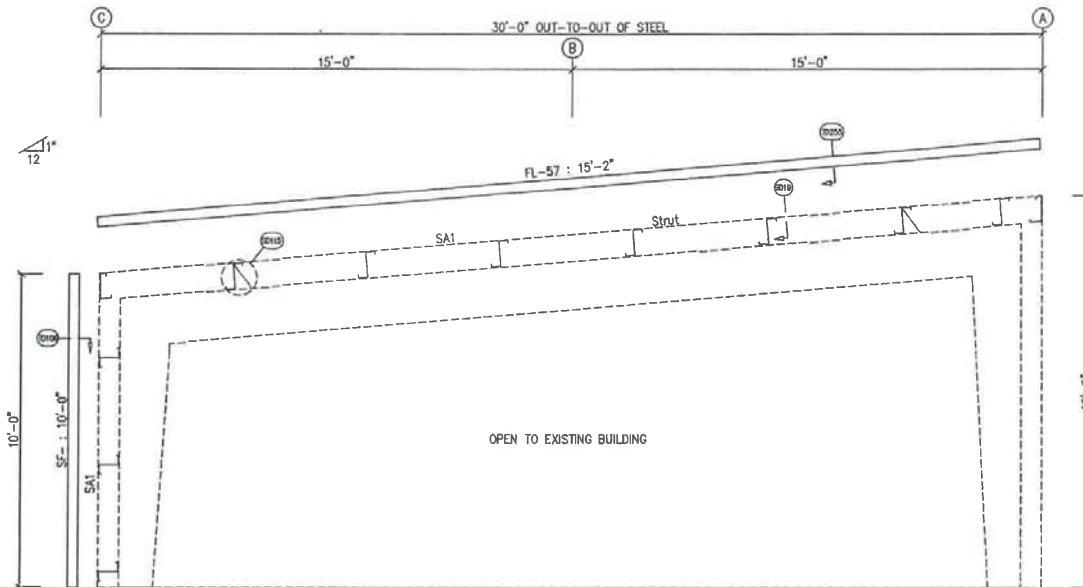
DATE: 8/16/18

NO. 141835

TR. (BLK. DESC.)

SHEET NO. E5 of 7

ISSUE A



ENDWALL FRAMING & TRIM: FRAME LINE 1

GENERAL NOTES:
 TRIM IS FIGURED WITH 2" TRIM LAP UNLESS NOTED ON A DETAIL.
 FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.

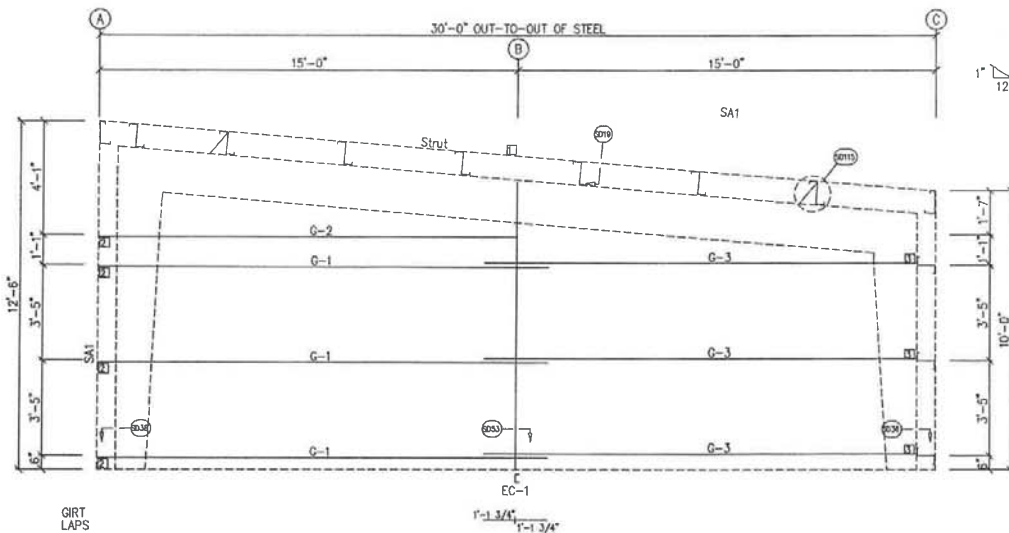
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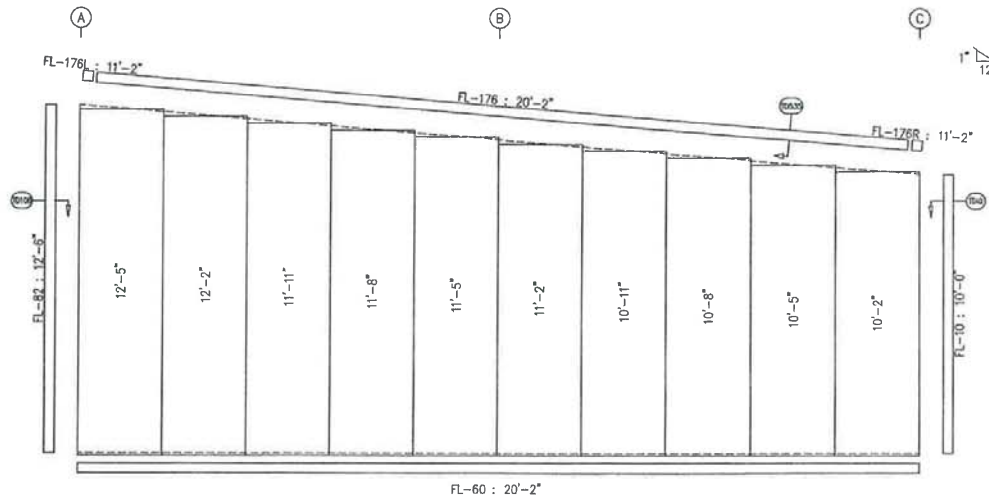
DRAWING STATUS	
<input type="checkbox"/>	EDR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT REQUIREMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
<input checked="" type="checkbox"/>	FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL, AS A MINIMUM, FIELD MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

NO.	DATE	DESCRIPTION	BY	CHKD
A	8/17/18	FOR PERMIT	JGA	SPS

		3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA. 30092 (770)447-1028
DESCRIPTION: ENDWALL ELEVATION		REF: REFER TO G1
PROJECT: SEABROOK		
JOB#: 2102 SEABROOK ISLAND RD.		
LOCATION: JOHNS ISLAND, SC 29455		
DRW BY: JGA	ENR BY: LJB	DATE: 8/16/18 SCALE: N.T.S. JOB NO: 141835 PW: [blank] SHEET NO: E8 of 7 ISSUE: A



ENDWALL FRAMING: FRAME LINE 3

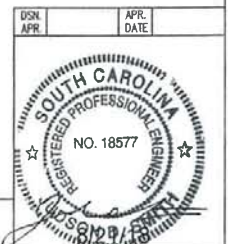


ENDWALL SHEETING & TRIM: FRAME LINE 3
PANELS: 26 Ga. PBR - Light Stone

BOLT TABLE			
FRAME LINE 3			
LOCATION	QUAN	TYPE	LEN
Columns/Ref	10	A325	5/8" 1 1/4"

MEMBER TABLE	
FRAME LINE 3	
MARK	PART
EC-1	BX35C12
G-1	BX25Z16
G-2	BX25Z16
G-3	BX25Z16

CONNECTION PLATES	
FRAME LINE 3	
ID	MARK/PART
1	CL-112
2	d1
3	Q-64

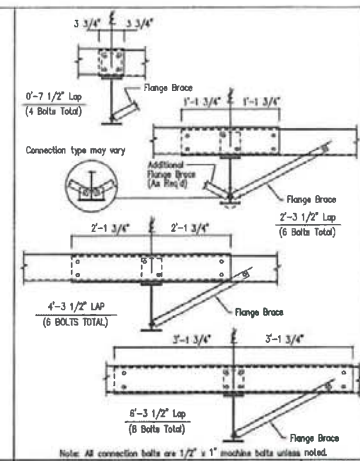
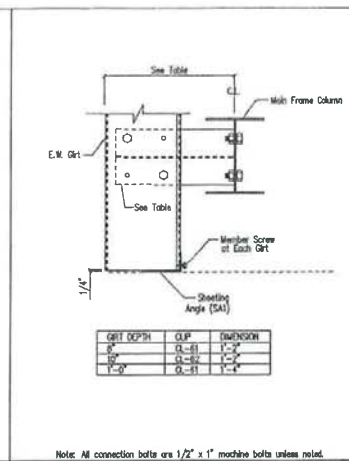
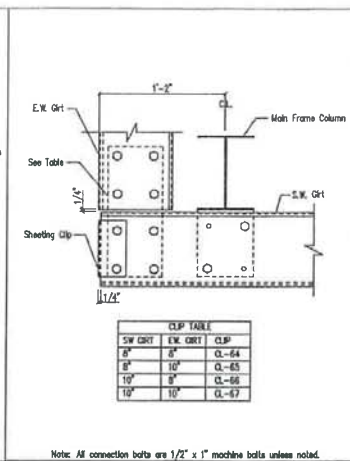
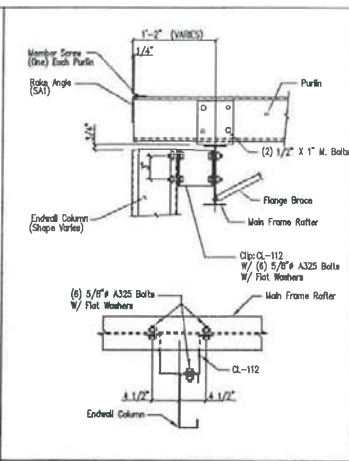
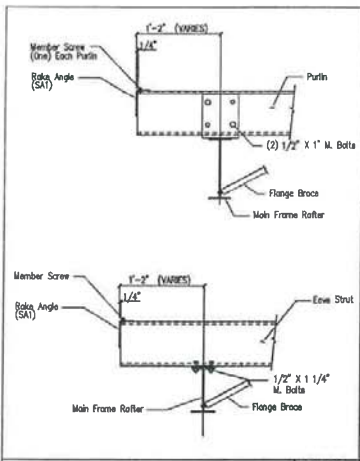


These drawings and the metal building they represent are the product of Schulte Building Systems - 17600 Bodika Road, Hockley, Texas 77447. The engineer whose seal appears hereon is employed by Schulte Building Systems and is not the engineer of record for this project.

DRAWING STATUS				REVISIONS			
<input type="checkbox"/>	ENDWALL SHEETING	NO.	DATE	NO.	DATE	DESCRIPTION	BY
<input checked="" type="checkbox"/>	PERMITS	A	5/17/18	1	5/17/18	FOR PERMIT	JGA
<input type="checkbox"/>	FINAL DRAWINGS						

		3300 HOLCOMB BRIDGE RD., SUITE 201 • NORCROSS, GA. 30092	
		(770)447-1928	
TRIM TYPE: SEABROOK COST: 2502 SEABROOK ISLAND RD. LOCATION: JOHNS ISLAND, SC 29455		ENDWALL ELEVATION SEE REFER TO C1	
DESIGNED BY	DRAWN BY	DATE	SCALE
JGA	LJB	8/16/18	N.T.S.
JOB NO.	PT. NO.	SHEET NO.	ESSE
141835		E7 of 7	A

GENERAL NOTES:
TRIM IS FIGURED WITH 2" TRIM LAP UNLESS NOTED ON A DETAIL.
FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.



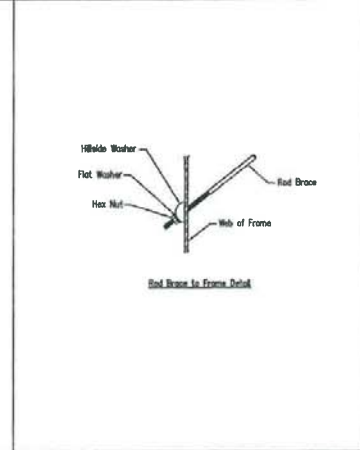
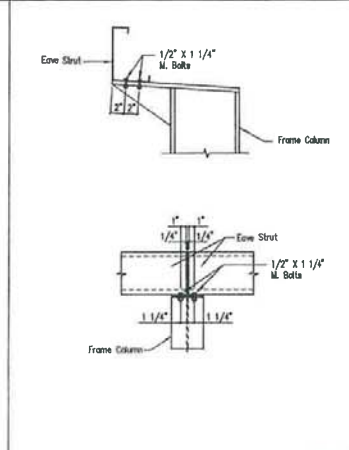
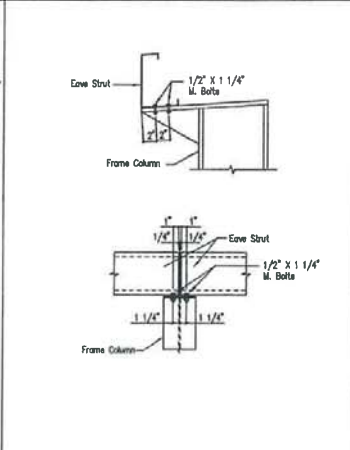
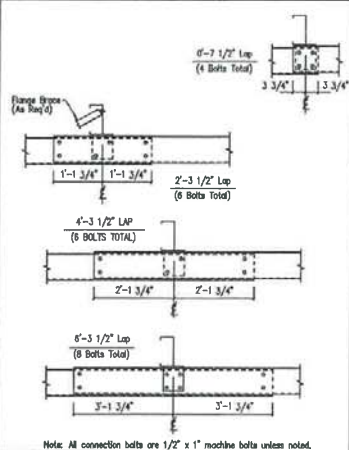
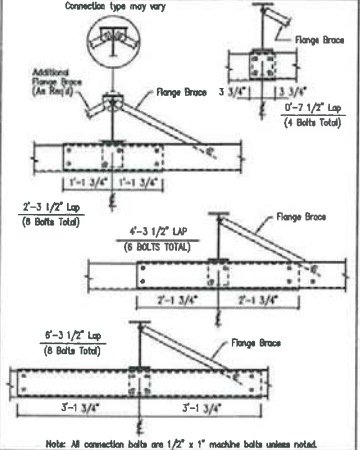
Main Frame Rafter Connection
PURLIN & EAVE STRUT CONNECTION
DRAWING NO. SD10

CF Column to Main Frame Rafter Connection
Flush Endwall
DRAWING NO. SD19

Section of MF Corner Column
Flush Endwall
DRAWING NO. SD36

Section of MF Corner Column
Flush Endwall - Open By-Pass Sidedwall
DRAWING NO. SD38

Interior Bay Purlin Framing
DRAWING NO. SD50



Interior Bay Girt Framing
DRAWING NO. SD51

'C' Endwall Column to By-Pass Girt
DRAWING NO. SD53

Eave Strut at Interior Column
By-Pass Sidedwall
DRAWING NO. SD59

Eave Strut at High Side Column
By-Pass Sidedwall
DRAWING NO. SD61

Cable or Rod Brace to Frame Connection
DRAWING NO. SD66

GENERAL NOTES:
SEE ELEVATIONS FOR TRIM MARKS, FINISHES, LOCATION AND QUANTITY.
ALL TAPE SEALANT IS CONTINGUOUS UNLESS NOTED.
WALL PANELS, POP BUSHETS AND EAVE TRIM TO BE INSTALLED BEFORE ROOF INSULATION.
FOR CLARITY OF DETAIL ROOF INSULATION IS NOT SHOWN.
4\"/>

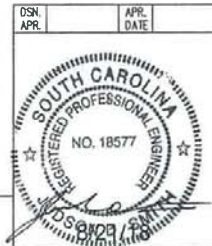
CLIP TABLE

SW GIRT	E.W. GIRT	CLIP
8"	8"	CL-64
8"	10"	CL-65
10"	8"	CL-66
10"	10"	CL-67

CLIP TABLE

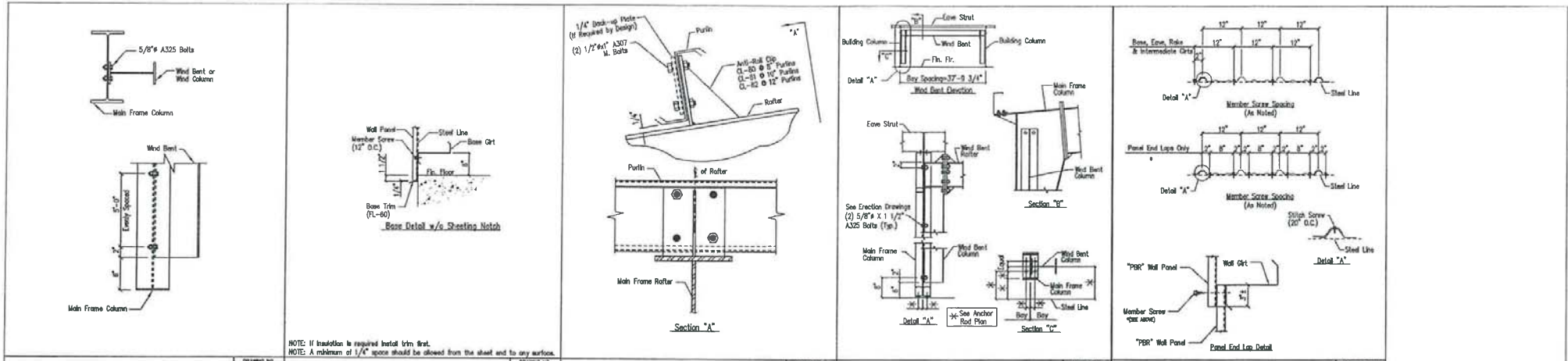
GIRT DEPTH	CLIP	DIMENSION
8"	CL-61	1'-2"
10"	CL-61	1'-4"

These drawings and the metal building they represent are the product of Schulte Building Systems - 17600 Bodiske Road, Hockley, Texas, 77447. The engineer whose seal appears hereon is employed by Schulte Building Systems and is not the engineer of record for this project.



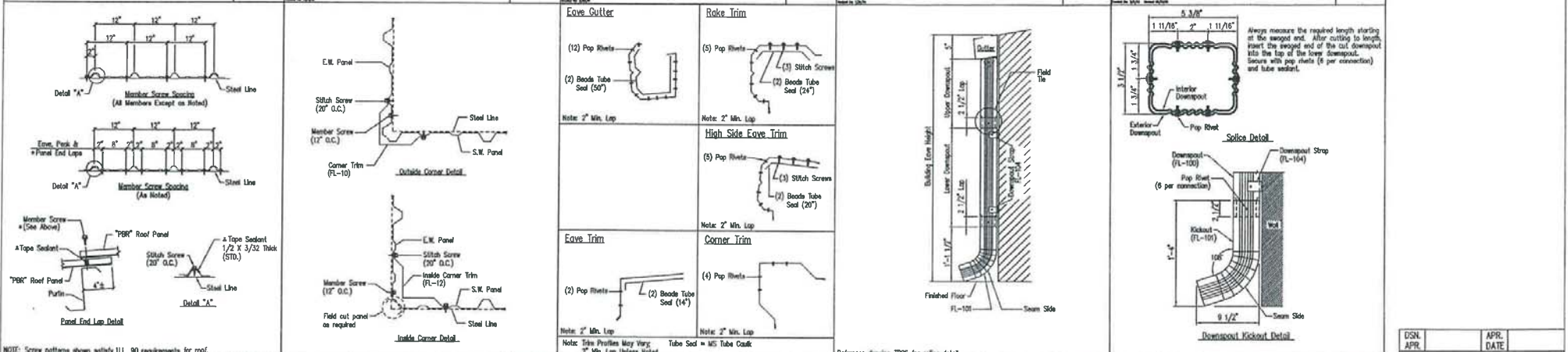
DRAWING STATUS			REVISIONS		
<input type="checkbox"/>	FOR APPROVAL	NO. DATE	NO. DATE	DESCRIPTION	BY
<input checked="" type="checkbox"/>	FOR PERMIT	A 5/7/18			JGA
<input type="checkbox"/>	FOR CONSTRUCTION				

PROJECT		3300 HOLCOMB BROOK RD., SUITE 201 + NORCROSS, GA. 30092	
DRAWING		DETAIL DRAWINGS	
LOCATION		JOHNS ISLAND, SC 29455	
DATE	SCALE	NO.	DATE
06/16/18	N.T.S.	141835	



NOTE: If installation is required install trim first. NOTE: A minimum of 1/4" space should be allowed from the steel and to any surface.

Wind Column/Wind Frame Detail SD70 Base Girt w/Trim SD76 Purlin to Anti-Roll Clip Connection SD115 Flush Wind Bent (Flooting) SD150 Fastener Location "PBR" Panel of Wall TD1



NOTE: Screw patterns shown satisfy U.L. 90 requirements for roof.

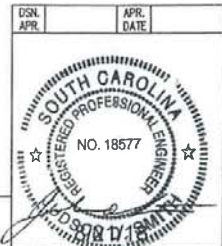
Fastener Location "PBR" Panel of Roof TD7 Section of Corner - PBR TD40 Trim Laps - Shadow Profile TD88 Downspout Elevation TD90 Downspout Kickout and Splice Detail TD96

GENERAL NOTES:
 SEE ELEVATIONS FOR TRIM MARK, DIMENSIONS, LOCATION, AND QUANTITY.
 ALL TAPE SEALANT IS CONTINUOUS UNLESS NOTED.
 WALL PANELS, POP RIVETS, AND FAIR TRIM TO BE INSTALLED BEFORE ROOF INSULATION.
 FOR CLARITY OF DETAIL, ROOF INSULATION IS NOT SHOWN.
 A 1" WIDE x 3/32" TAPE SEAL (OPTIONAL) MUST BE SPECIFIED ON THE WORK ORDER.
 *TRIM PROFILE MAY VARY.

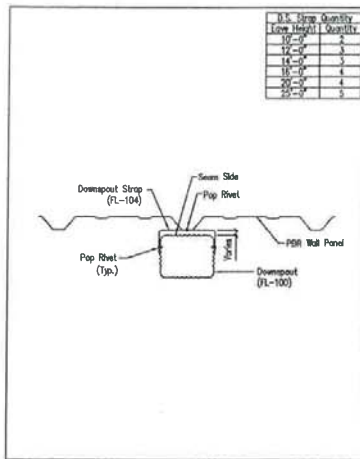
DRAWING STATUS				REVISIONS			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
<input type="checkbox"/>		EMERGENCY					
<input type="checkbox"/>		THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CLARIFY PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.					
<input checked="" type="checkbox"/>		THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL, BUT, AS A MINIMUM, THESE DRAWINGS ARE NOT CONSIDERED AS COMPLETE. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.					
<input type="checkbox"/>		FINAL CONSTRUCTION					
<input type="checkbox"/>		FINAL DRAWINGS					

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
A	3/17/18	FOR PERMIT	JCA				

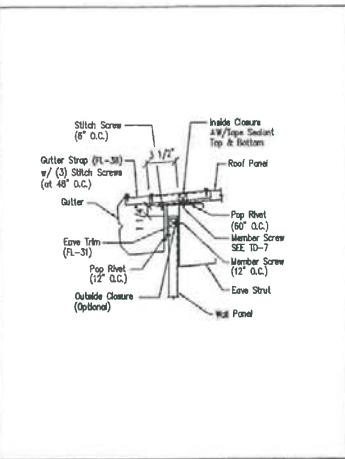
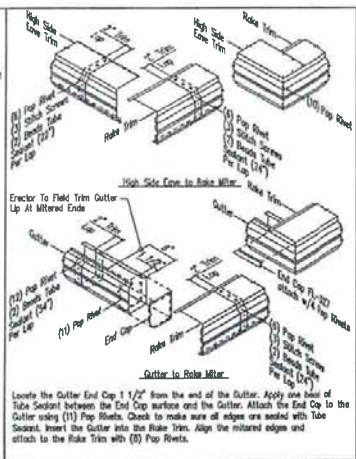
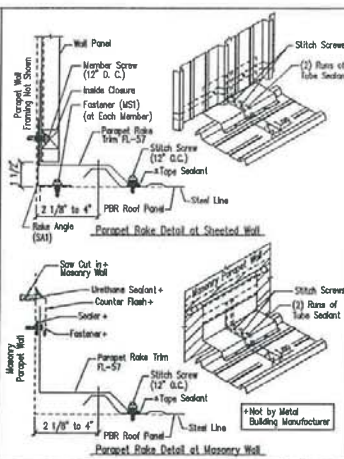
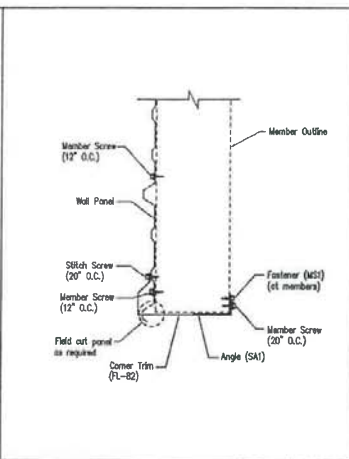
DESCRIPTION		DATE	SCALE	AS BLD.	PH. BLDG. SPEC.	SHEET NO.	TOTAL
SEABROOK		6/16/18	N.T.S.	141835		D2	3
3300 HOLCOMB BRODIE RD., SUITE 201 • NORCROSS, GA 30092							
(770)447-1928							



These drawings and the metal building they represent are the product of Schulte Building Systems - 17600 Badlake Road, Hockley, Texas, 77447. The engineer whose seal appears hereon is employed by Schulte Building Systems and is not the engineer of record for this project.



U.L. Strap Quantity	Low Height	Quantity
12\"/>		



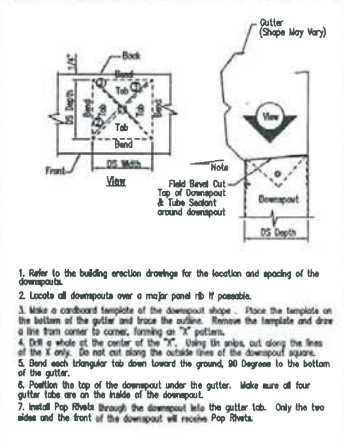
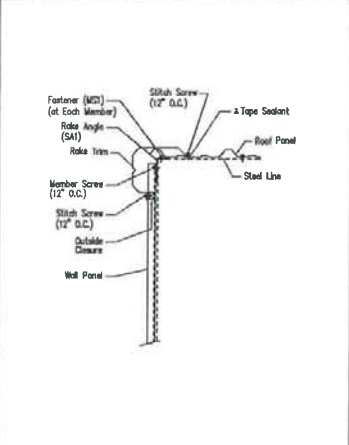
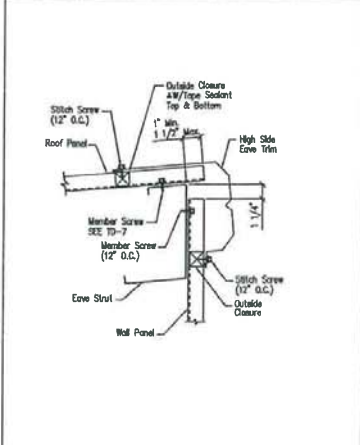
Downspout Strap Attachment Detail - PBR
3 1/2" x 5 3/8" Roll-Form
DRAWING NO. TD98

Section of Open Corner - PBR
DRAWING NO. TD106

Parapet Rake Detail - PBR
DRAWING NO. TD255

PBR Northern Shadow Trim Detail
DRAWING NO. TD301

Low Eave Detail - PBR
Shadow Gutter - Sheeted Wall
DRAWING NO. TD515



High Eave Detail - PBR
High Side Shadow Eave Trim - Sheeted Wall
DRAWING NO. TD518

Rake Detail - PBR
Shadow Rake - Sheeted Wall
DRAWING NO. TD535

Downspout to Gutter Attachment Detail (Shadow Profile)
DRAWING NO. TD595

GENERAL NOTES:
SEE ELEVATIONS FOR TRIM MARKS, LENGTHS, LOCATION, AND QUANTITY.
ALL TAPE SEALANT IS CONTINUOUS UNLESS NOTED.
WALL PANELS, POP RIVETS, AND EAVE TRIM TO BE INSTALLED BEFORE ROOF INSULATION.
FOR CLARITY OF DETAIL, ROOF INSULATION IS NOT SHOWN.
1" WIDE x 3/32" TAPE SEAL (OPTIONAL) MUST BE SPECIFIED ON THE WORK ORDER.
TRIM PROFILE MAY VARY.

These drawings and the metal building they represent are the product of Schulte Building Systems - 17600 Barkley Road, Houston, Texas 77447. The engineer whose seal appears hereon is employed by Schulte Building Systems and is not the engineer of record for this project.



DRAWING STATUS		REVISIONS		DATE		BY		CHK	
<input type="checkbox"/>	FOR APPROVAL	NO.	DATE	DESCRIPTION	JGA	SRG			
<input checked="" type="checkbox"/>	FOR PERMIT	A	5/17/18	FOR PERMIT					
<input type="checkbox"/>	FOR FINAL								

DESCRIPTION	DETAIL DRAWINGS	SEE	REFER TO C1
PROJECT	SEABROOK		
ADDRESS	2902 SEABROOK ISLAND RD.		
CITY	JONES ISLAND, SC 29455		
DESIGNED BY	JGA	DRAWN BY	LJB
DATE	8/16/18	SCALE	N.T.S.
JULY NO.	141835	PROJECT NO.	3300 HOLCOMB BROOKE RD., SUITE 201 - NORCROSS, GA. 30092
SHEET NO.	D3 OF 3	DATE	APR. 2018



SEABROOK ISLAND PROPERTY
 1202 LANDFALL WAY
 JOHNS ISLAND, SC 29455

JOB NUMBER: 141835
 BUILDING SIZE: 30.00' x 40.00' x 10.00' x 12.50' (1.0:12)

JOBSITE: 2902 SEABROOK ISLAND RD.
 JOHNS ISLAND, SC 29455

Gentleman:

This is to certify that the above referenced project, along with its component parts, has been designed and fabricated by SCHULTE BUILDING SYSTEMS

In addition to all applicable order documents, this structure has been designed in accordance with the appropriate edition of the AISC "Manual of Steel Construction" and with good engineering practice for the following loads. All welding has been completed per the appropriate American Welding Society (AWS) code.

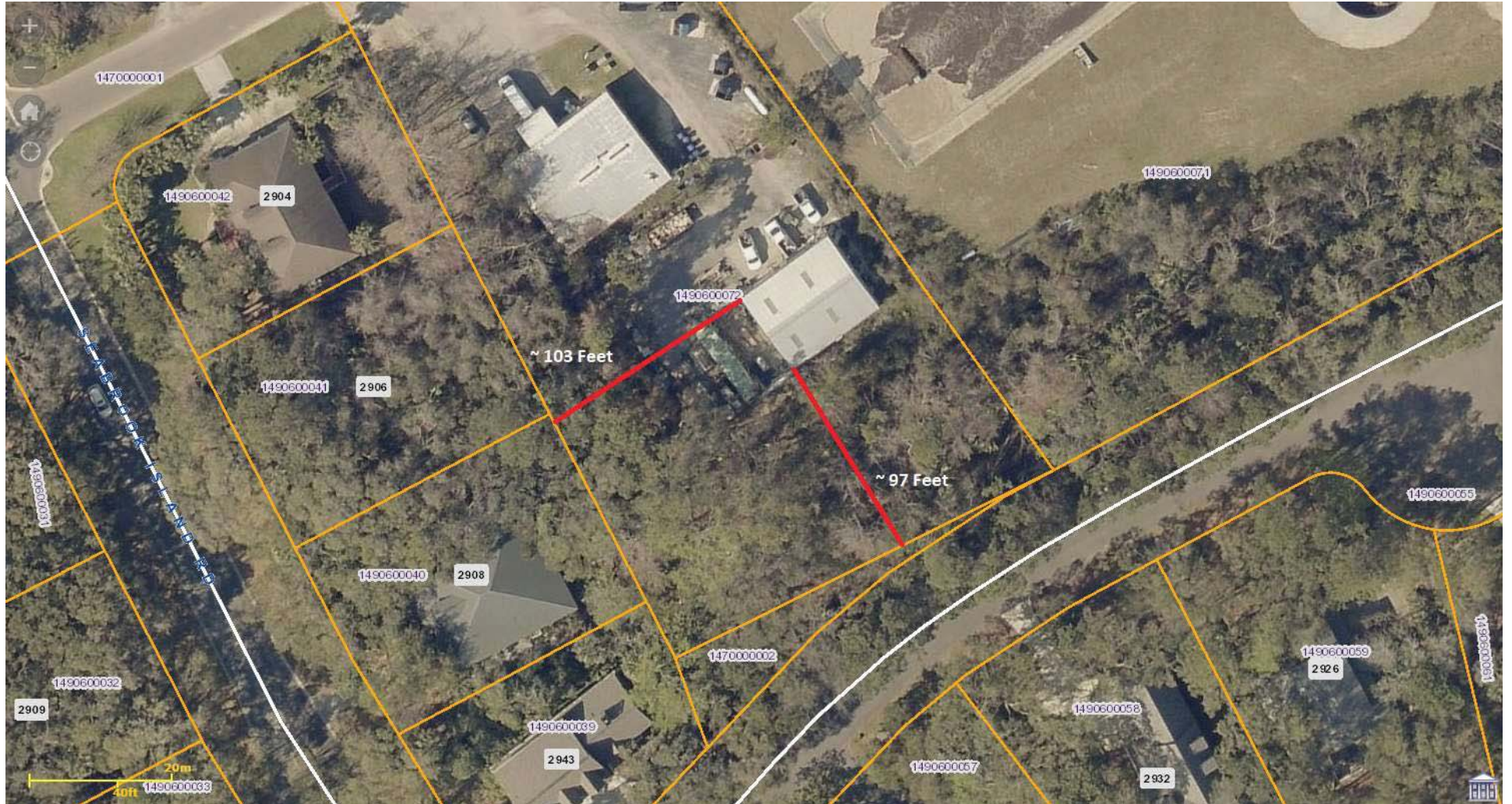
Governing Code for application of design loads: IBC 15

IMPORTANCE FACTORS:	WIND:	N/A	SNOW:	1.000	SEISMIC:	1.000
DEAD LOAD _____	Weight of metal building structure only as supplied by SCHULTE BUILDING SYSTEMS					
COLLATERAL LOAD _____	3 PSF					
LIVE LOAD _____	20.00 PSF - Tributary area reduction allowed? Yes					
WIND LOAD (V 3S) _____	N/A					
WIND LOAD (Vult & Vasd) _____	150 MPH, 116 MPH					
OCCUPANCY / RISK CATEGORY _____	II - Normal					
WIND EXPOSURE _____	C					
INTERNAL PRESSURE COEFFICIENT _____	+ / - 0.55					
SITE CLASS _____	D					
SEISMIC DESIGN CATEGORY _____	D					
SPECTRAL RESPONSE ACCELERATIONS _____	S _s = 1.0690 S ₁ = 0.3400					
GROUND SNOW LOAD (P _g) _____	5 PSF					
ROOF SNOW LOADS, FLAT (P _f), SLOPED (P _s) _____	4.20 PSF, 4.20 PSF					
ADDITIONAL LOADS _____	N/A					



This Letter of Certification applies solely to the metal building and its component parts as furnished by SCHULTE BUILDING SYSTEMS and specifically excludes any foundation, masonry, or general contract work.

Sincerely











MEMORANDUM

TO: Town of Seabrook Island Planning Commission Members
FROM: Joseph M. Cronin, Town Administrator
SUBJECT: Text Amendment for Walls and Fences
MEETING DATE: September 26, 2018

The Planning Commission is asked to review and provide a recommendation on a proposed amendment to the Development Standards Ordinance (DSO) for the purpose of amending the requirements for walls and fences.

Currently, the town's DSO requires walls and fences to be constructed with the following materials: "stucco, cypress, pressure-treated wood, or similar materials." Despite these restrictions, staff has identified several walls and fences that were permitted using other materials, such as architectural concrete masonry unit (CMU) retaining walls, and powder coated aluminum fences. Upon consulting with a representative from the SIPOA Architectural Review Committee (ARC), it was determined that the ARC allows materials which are not permitted under the town's DSO. It is our recommendation that the DSO be amended to eliminate this conflict.

If approved, the proposed text amendment would allow the following types of materials:

- Walls: Stucco, cypress, pressure-treated wood, wood composite, brick, stone, architectural concrete masonry units (CMU), or similar materials.
- Fences: Stucco, cypress, pressure-treated wood, wood composite, iron, powder coated aluminum, or similar materials. The draft ordinance also recommends prohibition of the following materials: barbed wire, concertina wire, razor wire, chain link, poultry wire and vinyl.

The current ordinance does not specify any additional requirements regarding height, location, or drainage impacts of walls and fences. In addition to amending the permitted materials, the proposed text amendment also includes the following recommendations:

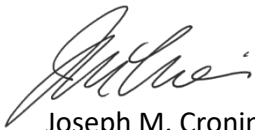
- Defining the setback requirements for walls and fences as 50% of the required side or rear setback for principal structures;
- Prohibiting walls and fences within a required marsh or beachfront setback;
- Requiring that walls and fences be maintained in good repair;

- A 6' maximum height for walls and fences (the planning commission may approve taller walls and fences when used to screen a public building or storage yard, utility structures or equipment, or an approved outdoor storage area in a commercial or industrial district)
- A 3' maximum height for walls and fences in sight easements and clear sight triangles;
- Requiring a finished side (if any) to face outward from the property;
- Requiring plant materials to be installed on the exterior side of a wall or fence; and
- Requiring that walls and fences not negatively impact drainage on the site or on adjacent properties.

Staff Recommendation

Staff recommends in favor of **APPROVAL** of the proposed text amendment.

Respectfully submitted,



Joseph M. Cronin
Town Administrator

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2018-09

ADOPTED _____

AN ORDINANCE AMENDING THE DEVELOPMENT STANDARDS ORDINANCE OF THE TOWN OF SEABROOK ISLAND, SOUTH CAROLINA; ARTICLE 10, BUFFERS, LANDSCAPING AND TREE PROTECTION; SECTION 10.60, SPECIFICATIONS FOR WALLS, FENCES AND HEDGES; SO AS TO AMEND THE GENERAL REQUIREMENTS FOR WALLS AND FENCES

WHEREAS, Section 10.60 of the Development Standards Ordinance outlines the general requirements for walls and fences; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island desire to amend the Development Standards Ordinance to modify the general requirements for walls and fences so as to permit additional materials, and other matters related thereto; and

WHEREAS, the Seabrook Island Planning Commission reviewed the proposed amendments during a duly called meeting on _____, at which time the Planning Commission made a recommendation to the Mayor and Council in favor of _____ the proposed amendments; and

WHEREAS, the Mayor and Council advertised and held a public hearing on the proposed amendments during a duly called meeting on September 25, 2018;

NOW, THEREFORE, pursuant to the authority granted by the Constitution and the General Assembly of the State of South Carolina, **BE IT ORDAINED BY THE MAYOR AND COUNCIL FOR THE TOWN OF SEABROOK ISLAND:**

SECTION 1. Amending Section 10.60 of the Development Standards Ordinance. The Development Standards Ordinance of the Town of Seabrook Island, South Carolina; Article 10, Buffers, Landscaping and Tree Protection; Section 10.60, Specifications for Walls, Fences and Hedges; is hereby amended to read as follows:

Sec. 10.60. - Specifications for Walls, Fences and Hedges.

§ 10.60.10. Walls ~~or~~ and Fences. In the event a wall or fence is used or required, [the following requirements shall apply:](#)

- (a) ~~a~~Any open spaces or non-solid areas shall be evenly spaced;
- (b) ~~The w~~Walls ~~or fence~~ must be made of stucco, cypress, pressure-treated wood, [wood composite, brick, stone, architectural concrete masonry units \(CMU\)](#), or similar materials;
- (c) Fences must be made of stucco, cypress, pressure-treated wood, [wood composite, iron, powder coated aluminum](#), or similar materials. [Barbed wire, concertina wire, razor wire, chain link, poultry wire and vinyl are strictly prohibited;](#)

- (d) Walls and fences shall be constructed with quality materials and workmanship in accordance with prevailing building industry standards for appearance, soundness, safety and resistance to decay and weather, and shall be maintained in good repair;
- (e) Walls and fences shall be located no closer to a side or rear property line than fifty percent (50%) of the required side or rear setback for principal structures;
- (f) No wall or fence shall be permitted within a required marsh or beachfront setback area;
- (g) No wall or fence shall be taller than six (6) feet in height, measured from the finished elevation at its base to the highest point of the wall or fence; provided, however, the Planning Commission may allow a wall or fence to exceed six (6) feet in height when the wall or fence is used to screen a public building or storage yard, utility structures or equipment, or an approved outdoor storage area in a commercial or industrial district;
- (h) Walls and fences shall not exceed a height of three (3) feet within any sight easement or clear sight triangle;
- (i) When a wall or fence has both a finished side and an unfinished side, the finished side shall face the adjoining property or, if on the interior of the site, shall face outward toward the perimeter of the site;
- (j) Plant materials, where required, shall be installed on the exterior side of the wall or fence; and
- (k) Walls and fences shall not be constructed in a way that negatively impacts drainage on the site or on adjacent properties.

§ 10.60.20. Hedge. Whenever a hedge is used in landscaping buildings other than single-family homes, the hedge shall be installed with plants of sufficient size and spacing as to attain the height required and opacity of at least seventy-five percent (75%) within two (2) years of planting. If a hedge is not in compliance with the above height and opacity requirements within two (2) years after planting, the hedge must be completed with mature plants at developer expense.

SECTION 2. Severability.

If any section, subsection, paragraph, clause, or provision of this ordinance shall be deemed to be unconstitutional, unenforceable, or otherwise invalid by the final decision of a court of competent jurisdiction, it shall be construed to have been the legislative intent of Town Council to pass said ordinance without such unconstitutional provision, and the validity of all remaining sections, subsections, paragraphs, clauses, or provisions of said ordinance shall not be affected thereby. If said ordinance, or any provision thereof, is held by the final decision of a court of competent jurisdiction to be inapplicable to any person, group of persons, property, kind of property, circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property or circumstances.

SECTION 3. Conflicting Ordinances Repealed.

All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. Effective Date.

This ordinance shall be effective upon adoption by Town Council.

SIGNED AND SEALED this ____ day of _____, 2018, having been duly adopted by the Town Council for the Town of Seabrook Island on the ____ day of _____, 2018.

First Reading: August 28, 2018
Public Hearing: September 25, 2018
Second Reading: TBD

TOWN OF SEABROOK ISLAND

Ronald J. Ciancio, Mayor

ATTEST

Faye Allbritton, Town Clerk